



# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 18 California Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c.1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

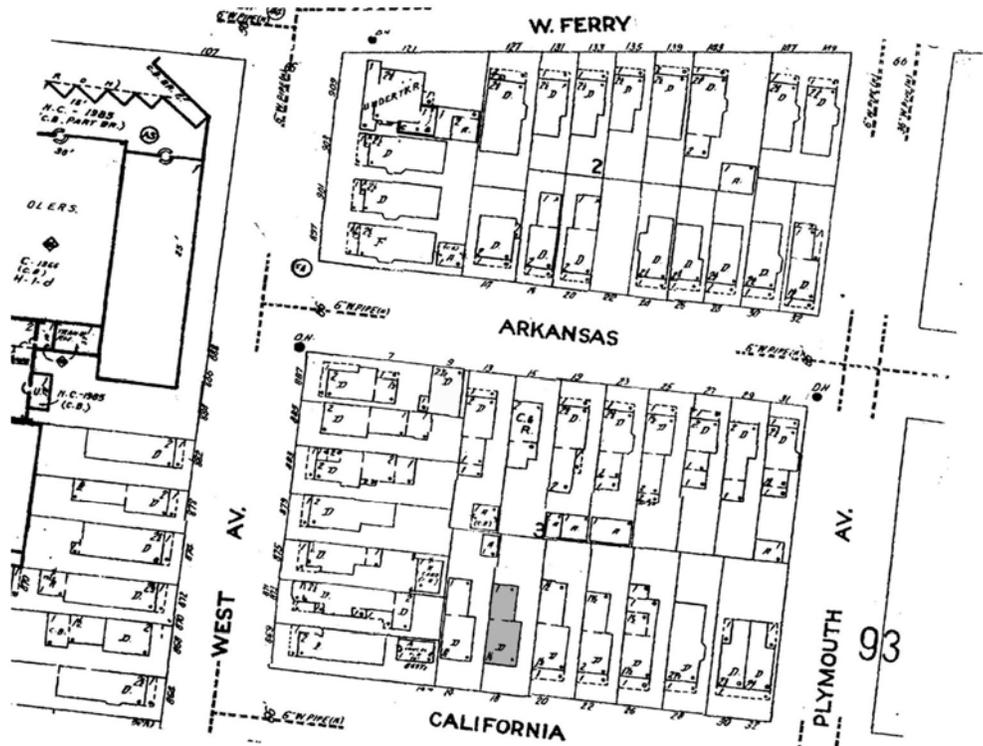
The single-family house at 18 California Street is set on a standard lot, located on the north side of the street, toward the west end of the block between West Avenue and Plymouth Avenue. California Street is a small, east-west, residential street that runs between West Avenue and Herkimer Street. The property is located in a residential area of the south central section of the Grant-Ferry-Forest neighborhood.

A one-and-one-half story, front gabled, urban, vernacular, frame residence with mixed influences and high detailing. It has a slight ell plan with squared main block and narrowed one-story rear block. The façade has a full-width, shed roof porch with decorative metal supports set on brick piers and reconstructed open wood rail. The sidelighted and enframed main entrance is located in the west bay. Two evenly spaced windows with matching enframements occupy the remainder of the façade. The upper façade is distinguished by two more elaborately enframed windows. Intricately detailed raked molding in the gable end. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Tall brick chimney visible on the east slope.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 18 California Street is significant as a good representative example of a one-and-one-half story, front gabled, urban, vernacular, frame residence with mixed influences and high detailing. Such vernacular folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 92



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-17)







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OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 6 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1894

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 6 Claremont Avenue is set on a trapezoidal corner lot, located on the west side of the street, at its south end, on the north side of the intersection of Claremont Avenue and West Delavan Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

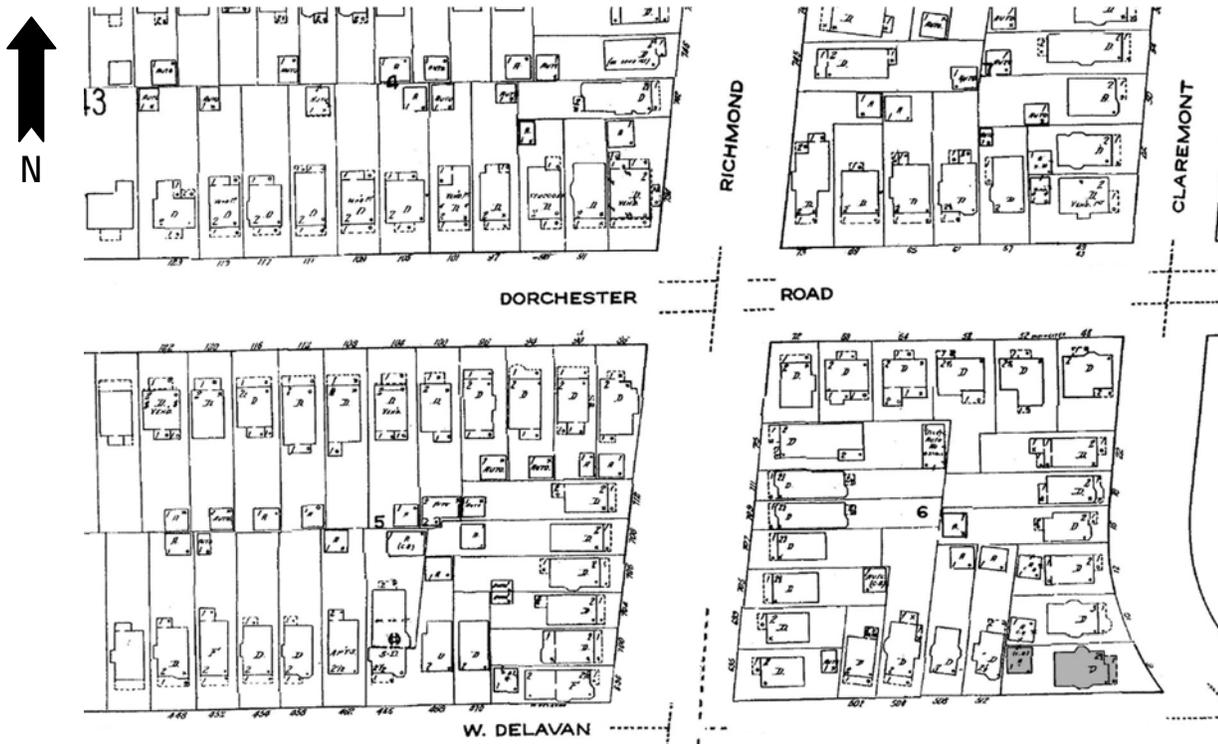
A two-and-one-half story, side gambrelled and lower front gabled, urban, frame residence of Shingle styling. It has an irregular squared plan. The façade has a full-width, flat roofed porch with square column supports and entry stair to the north. Upper stories contained within the gambrel. The main entrance is located in the north bay of the façade. The entire south bay of the façade is dominated by a multiple story rectangular projection extending from the lower front gable, punctuating and carrying down through the gambrel roofline. The rectangular bay is defined by tiered symmetric windows with extensive leading; pent enclosed gable peak accented with a small triple window. A small gabled dormer with fanlight single window sets on the northern section of the front roof. First-story polygonal bay centered on the south elevation flush beneath the overhang of the gambrel. Centered curved oriel and oval oculus visible on the south elevation, as well, contained within the gambrel at the second story. Gambrel peak accented with a row of three windows with arched openings and patterned shingle surround. Two-story, curved bay on the north elevation; north gambrel peak punctuated by a multi-paned Palladian window. Exterior wall fabric is wood clapboard with shingle in the gambrel and upper story projections. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest trim and framing.

A garage occupies the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 6 Claremont Avenue is significant as a good representative example of a two-and-one-half story, side gambrelled and lower front gabled, urban, frame residence of Shingle styling. A style characteristic of early twentieth century residences, though fairly unique in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne style abound. One of several fine Shingle examples in the survey area. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-18)







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OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 10 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1894

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The single-family house at 10 Claremont Avenue is set on a shortened trapezoidal lot, located on the west side of the street, at its south end, on the curved block between West Delavan Avenue and Dorchesier Road. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

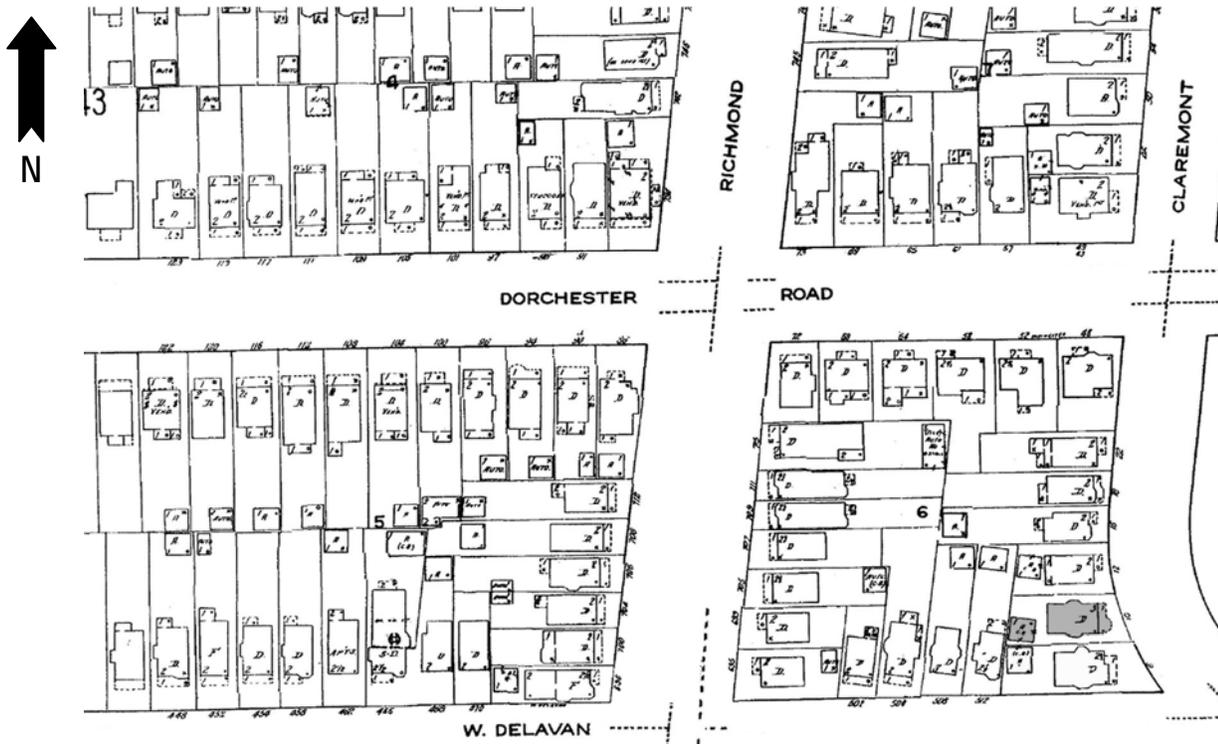
A two-and-one-half story, side gabled, urban, residence of a mixed Queen Anne, Colonial influence. It has a irregular squared plan and is set on a stone foundation. The façade has a full-width, hipped roof porch with slender  $\frac{3}{4}$ -height Ionic column supports set on patterned wood posts, spindled wood rail, lattice covered foundation, flat frieze, and an entry stair off center to the north. The main entrance is located in the north bay of the façade within a  $\frac{1}{2}$ -width recessed niche. A small bracketed polygonal oriel sets to the north of the entrance in the extreme north bay. Two evenly spaced single windows occupy the south bay of the facade. The second floor façade is defined by simple symmetric fenestration. A hipped roof dormer with triple window group rests on the front roof slope. Multiple windows accent the large gable ends. Two-story, flat roofed projecting polygonal bay visible on the north elevation; bay on the south elevation, as well. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze, framing, and brackets.

A garage occupies the south rear corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 10 Claremont Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence of a mixed Queen Anne, Colonial influence. Mixed style, but over all of a vein characteristic of single-family residences of the era and the neighborhood. Urban singles and doubles of varying Queen Anne influence were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-19)







# HISTORIC RESOURCE INVENTORY FORM

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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 17 Claremont Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1895

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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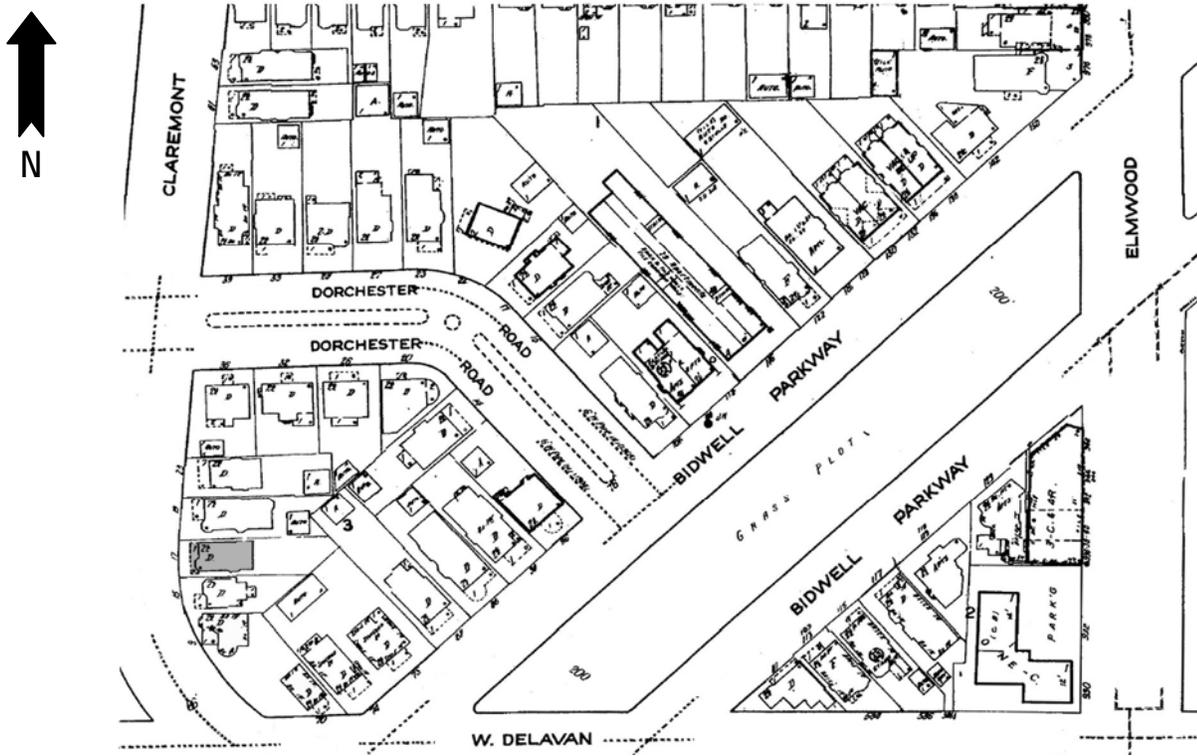
The single-family house at 17 Claremont Avenue is set on a long and narrow trapezoidal lot, located on the east side of the street, at its south end, on the curved block between West Delavan Avenue and Dorchester Road. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence of a influenced Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a ½-width, flat roofed porch in the north bay with simple square column supports, metal rail, modest frieze and cornice, and entry stair. The main entrance is located in the north bay of the façade under the porch. A single window sets to the north of the entranceway, in the extreme north bay. The south bay of the façade is dominated by a two-story, projecting, polygonal bay that ends flush beneath a small lower gable with window, contained roughly within the pent enclosed main front gable end. A small single window sets in the north bay of the second floor façade. An off-centered single with latticed panes accents the main gable peak. Full-height polygonal bay on the south elevation flush beneath slightly projecting lower side gabled wall dormer. Exterior wall fabric is wood shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed.

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The building at 17 Claremont Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of an influenced Queen Anne style. Modestly styled urban singles and doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-9)







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County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1894

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

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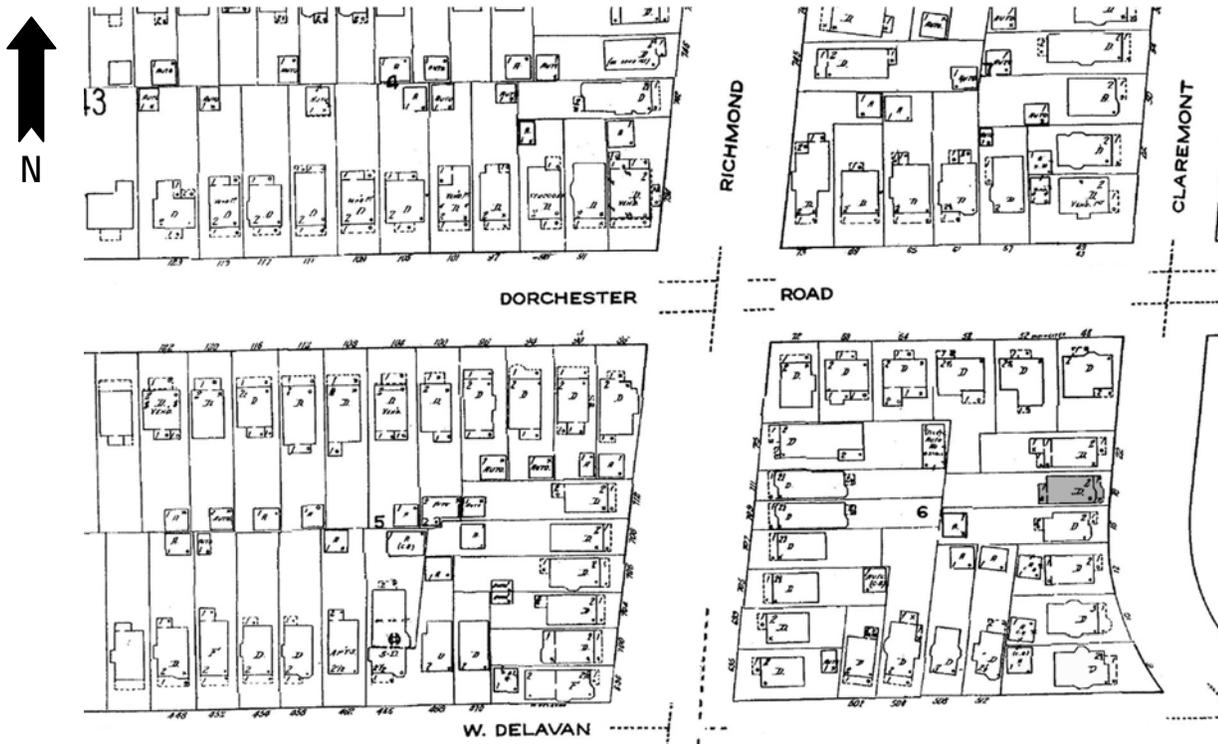
The single-family house at 18 Claremont Avenue is set on a long and narrow lot, located on the west side of the street, at its south end, on the curved block between West Delavan Avenue and Dorchester Road. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

A two-story, hipped roof, urban, frame residence of a mixed foursquare influenced design and Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a ½-width, flat roofed porch in the north bay with simple fluted column supports, spindled wood rail, modest flat frieze and cornice, clapboard covered foundation, and entry stair. The main entrance is located in the north bay of the façade under the porch. A single window sets to the north of the entranceway, in the extreme north bay. The south bay of the façade is dominated by a two-story, slight projecting, polygonal bay that ends flush beneath the widened eaves. A small single window sets in the north bay of the second floor façade. A pair of small hipped roof dormers with Queen Anne windows rest on the front slope. Similar dormer on the north roof slope. Full-height polygonal bay visible on the north elevation flush beneath the eaves. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes corner boards, extended eaves, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 18 Claremont Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of a mixed foursquare influenced design and Queen Anne style. Styled urban singles and doubles of Queen Anne influence, such as this, were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Gustave P. Miller. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-8; N-22)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 19 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1895

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 19 Claremont Avenue is set on a long and narrow irregular lot, located on the west side of the street, at its south end, on the curved block between West Delavan Avenue and Dorchester Road. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

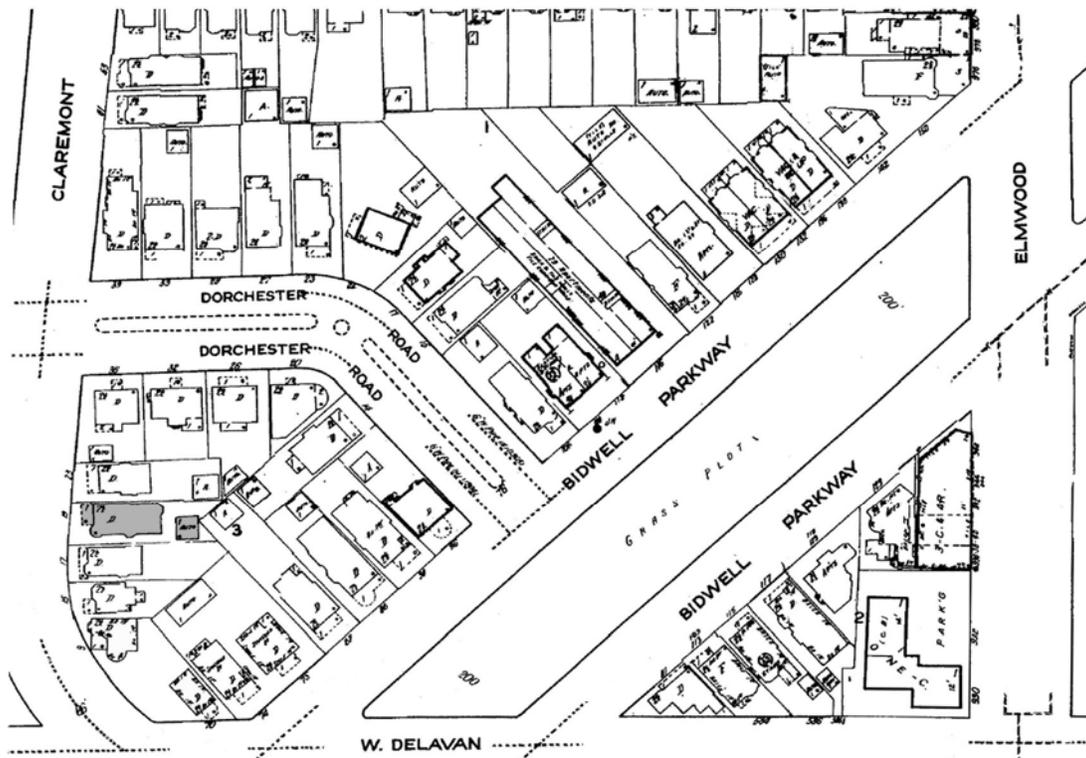
**NON-CONTRIBUTING**

A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 19 Claremont Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its initial styling and character, still reading as a two-and-one-half story, cross gabled, urban, frame residence of Queen Anne style, and adding to the streetscape.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-10)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 61 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 61 Claremont Avenue is set on a shortened slightly trapezoidal lot, located on the east side of the street, on the block between Dorchester Road and Potomac Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

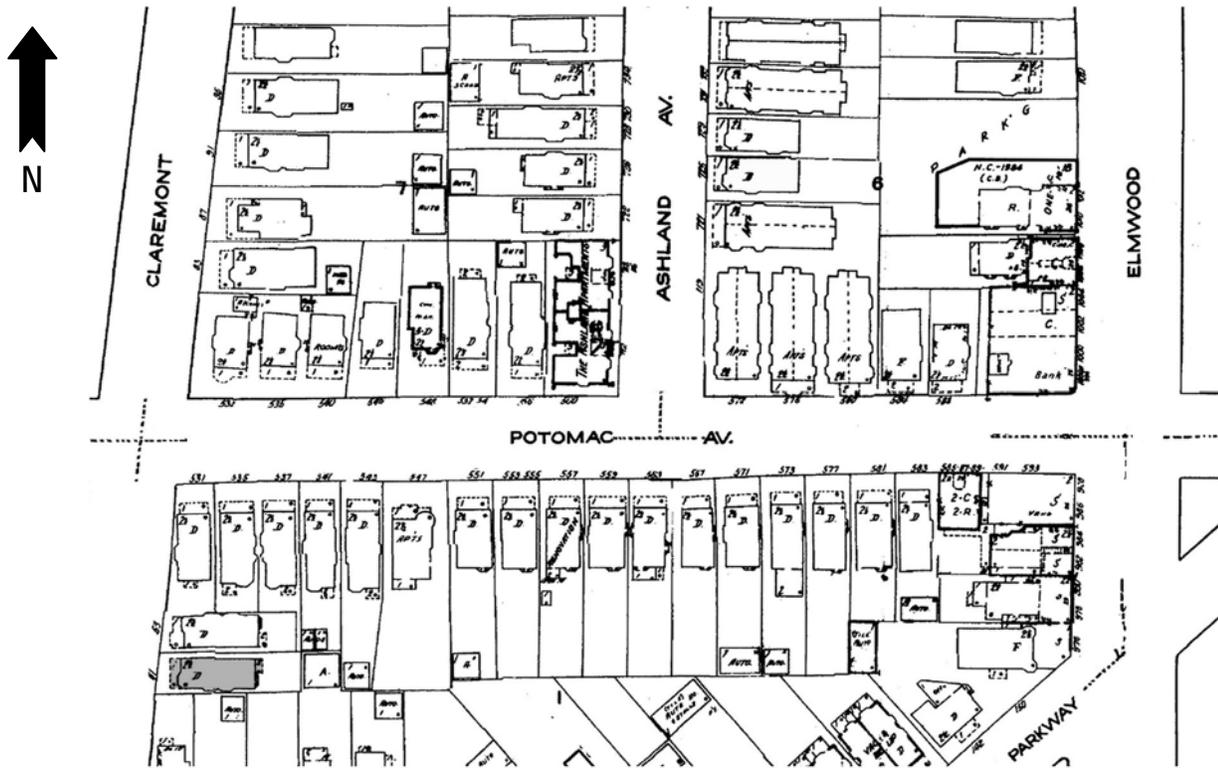
**NON-CONTRIBUTING**

A two-and-one-half-story, cross gabled, urban, frame residence of a Queen Anne style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 61 Claremont Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered vinyl siding.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-19)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 62 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 62 Claremont Avenue is set on a shortened slightly trapezoidal lot, located on the west side of the street, on the block between Dorchester Road and Potomac Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

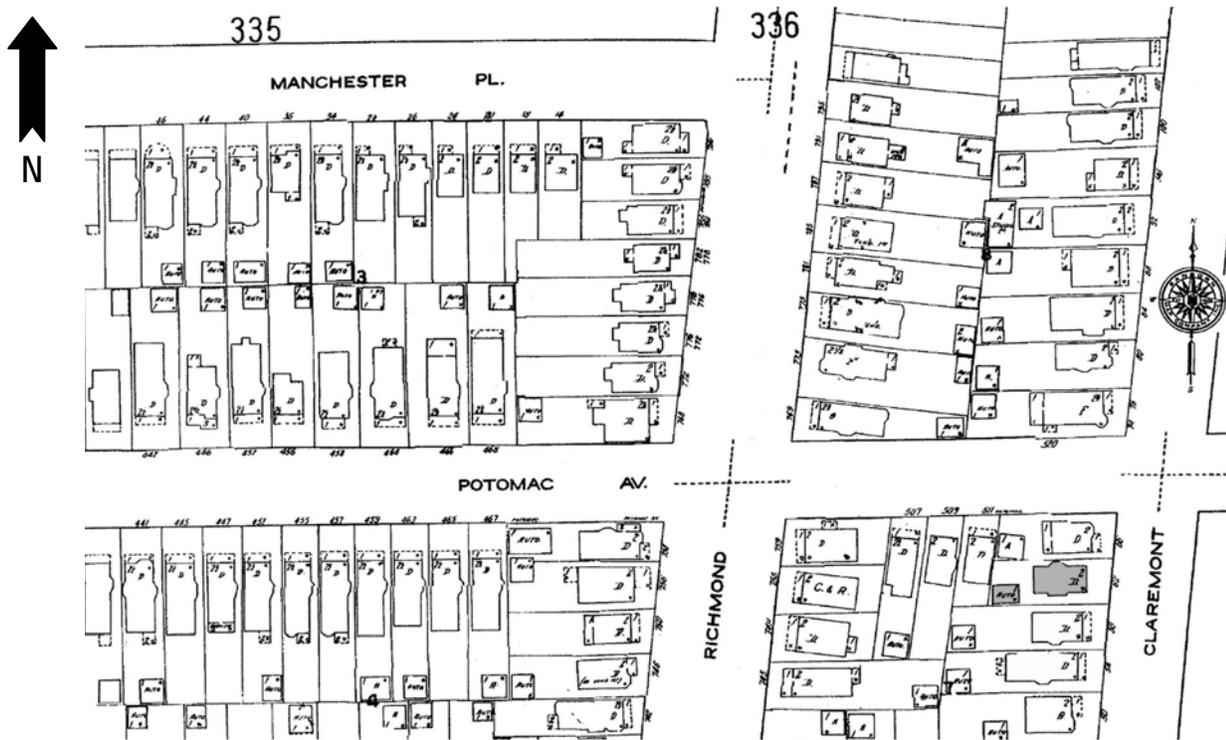
**NON-CONTRIBUTING**

A two-and-one-half-story, front gabled, urban, frame residence with Queen Anne styling

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 62 Claremont Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-38 N-15)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 63 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 63 Claremont Avenue is set on a shortened slightly trapezoidal lot, located on the east side of the street, on the block between Dorchester Road and Potomac Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

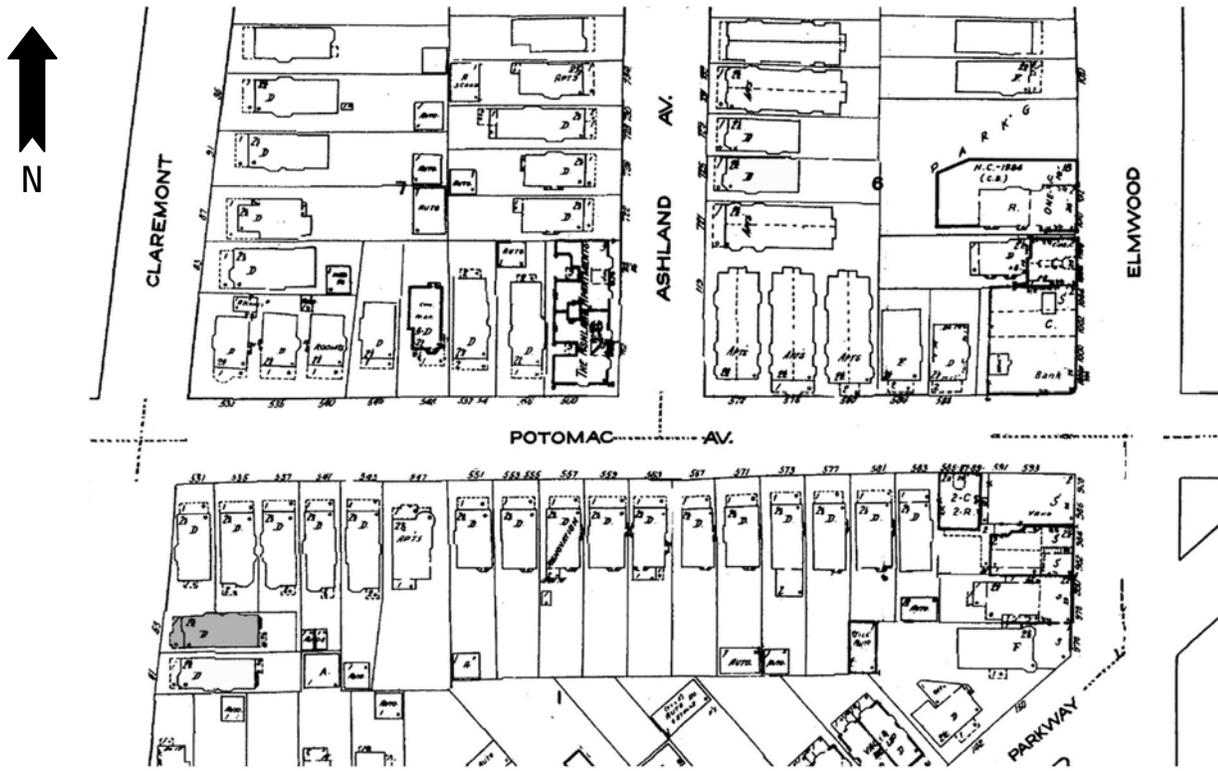
**NON-CONTRIBUTING**

A two-story, hipped roofed, urban, frame residence with Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 63 Claremont Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered vinyl siding.

MAP: Sanborn Map (Revised 1986) – Plate 338







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 66 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 66 Claremont Avenue is set on a shortened, slightly trapezoidal, corner lot located on the west side of the street, on the south side of the intersection of Claremont Avenue and Potomac Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

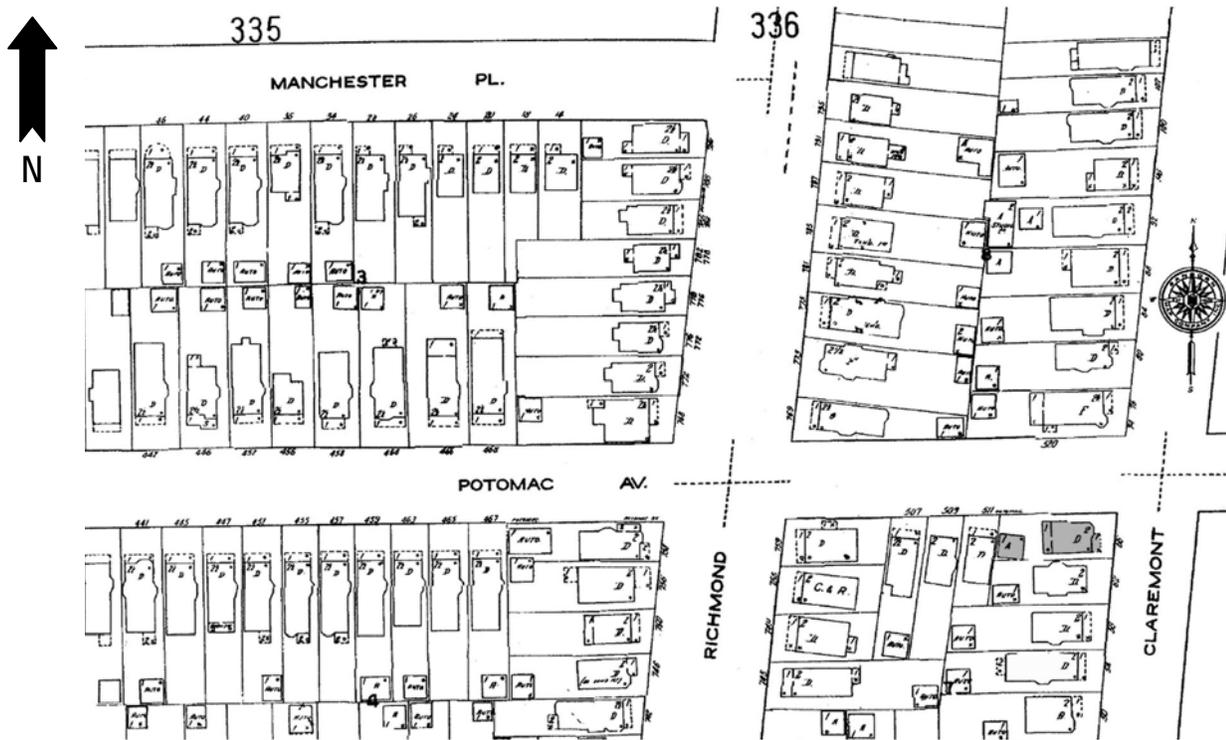
**NON-CONTRIBUTING**

A two-and-one-half-story, front gabled, urban, frame residence of Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 66 Claremont Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue - Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingle.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-38; N-16)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 87 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1896

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 87 Claremont Avenue is set on a slightly trapezoidal lot, located on the east side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

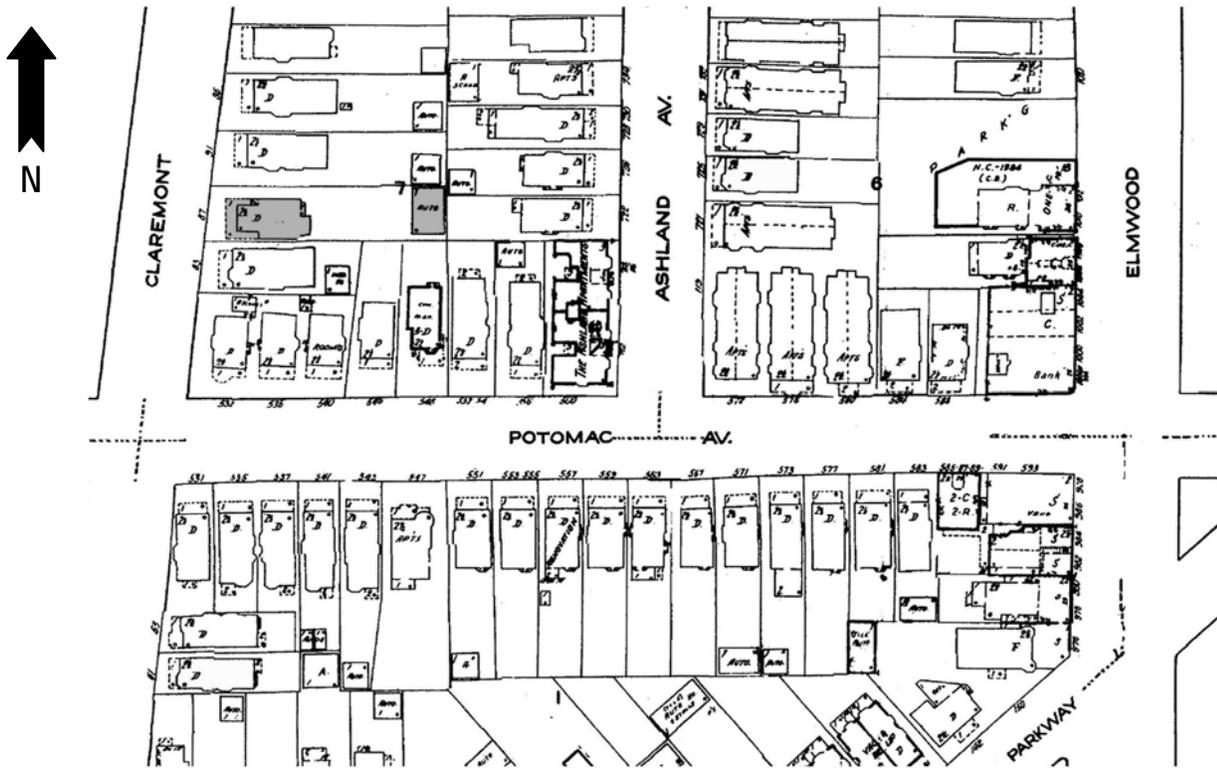
A two-and-one-half-story, hipped and front gabled, urban, frame residence of a Queen Anne style. It has a roughly rectangular though slight T plan with a square main block and 1/2-width, centered, front wing. It is set on a stone foundation. The façade has a full-width, hipped roof porch that wraps down the sides of the centered front gabled wing to butt into the rear block, with paired 3/4-height columns set on capped brick piers that extend into the foundation, metal rail, frieze with ornamented bracketing and cornice, front centered 1/3-width pediment, and a front entry stair in the extreme north bay. The main entrance is located the far north bay, under the porch on the remaining front flat of the rear block. A framed triple window sets centered on the front wing façade, under the porch; additional windowing at the south corner of the wing. The second floor façade has a curved oriel with side leading centered on the front wing beneath the pent of the front gable, with framed single windows set in the extremes of the side bays on the rear block. Gable end accented with a paired window and decorative shingle. First-story, roofed, rectangular bay with paired window visible on the north elevation of the rear block. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, 8/1 windowing in the gable end. Brick chimney visible on the north slope of the rear block. Additional detailing includes elaborate frieze with ornamented bracketing, cornice, corner boards, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 87 Claremont Avenue is significant as a good representative example of a two-and-one-half-story, hipped and front gabled, urban, frame residence of a Queen Anne style. Such styled single-family dwellings of Queen Anne influence were typical of middle class, urban living in the early twentieth century on the West Side of Buffalo. Built for F. Sullivan

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-18)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 88 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use \_\_\_\_\_ Current use \_\_\_\_\_

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 88 Claremont Avenue is set on a slightly trapezoidal lot, located on the west side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

A two-story, hipped, urban, frame residence of foursquare design with mixed free classic Queen Anne styling. It has a regular square plan and is set on a brick foundation. The façade has a full-width, flat roofed porch with  $\frac{3}{4}$ -height fluted column supports set on solid brick rail that extends into the foundation, modest frieze and cornice, and a 1/3-width pediment in the north bay with entry stair. The main entrance is located in the north bay of the façade. A framed single window sets to the side of the entrance in the extreme north bay; a large paired window occupies the south bay. The second floor façade has matching curved oriels with side leading and flared hipped roof in either side bay, and a centered oval oculus with framing. Shed roof dormers with two single window accents rest centered on the front and side slopes. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes wide corner pilasters, frieze and cornice, corner boards, trim and framing.

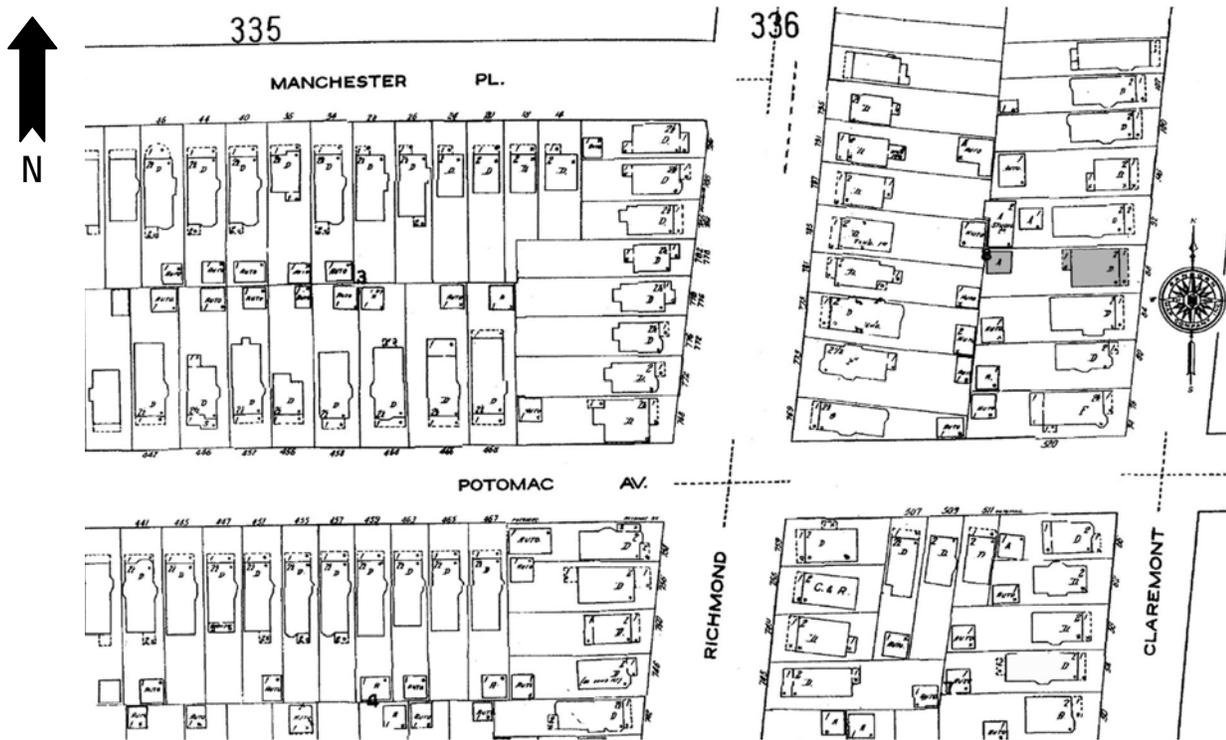
A garage sets in the north rear corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 88 Claremont Avenue is significant as a good representative example of a two-story, hipped, urban, frame residence of foursquare design with mixed free classic Queen Anne styling. A styled design common amongst single-family residences of the era. Seen often in rapidly developed suburban neighborhoods, though less common on the West Side where urban single and double residences of the Queen Anne style were most predominant.

Built for William A. McIntyre

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-18)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 91 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 91 Claremont Avenue is set on a slightly trapezoidal lot, located on the east side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

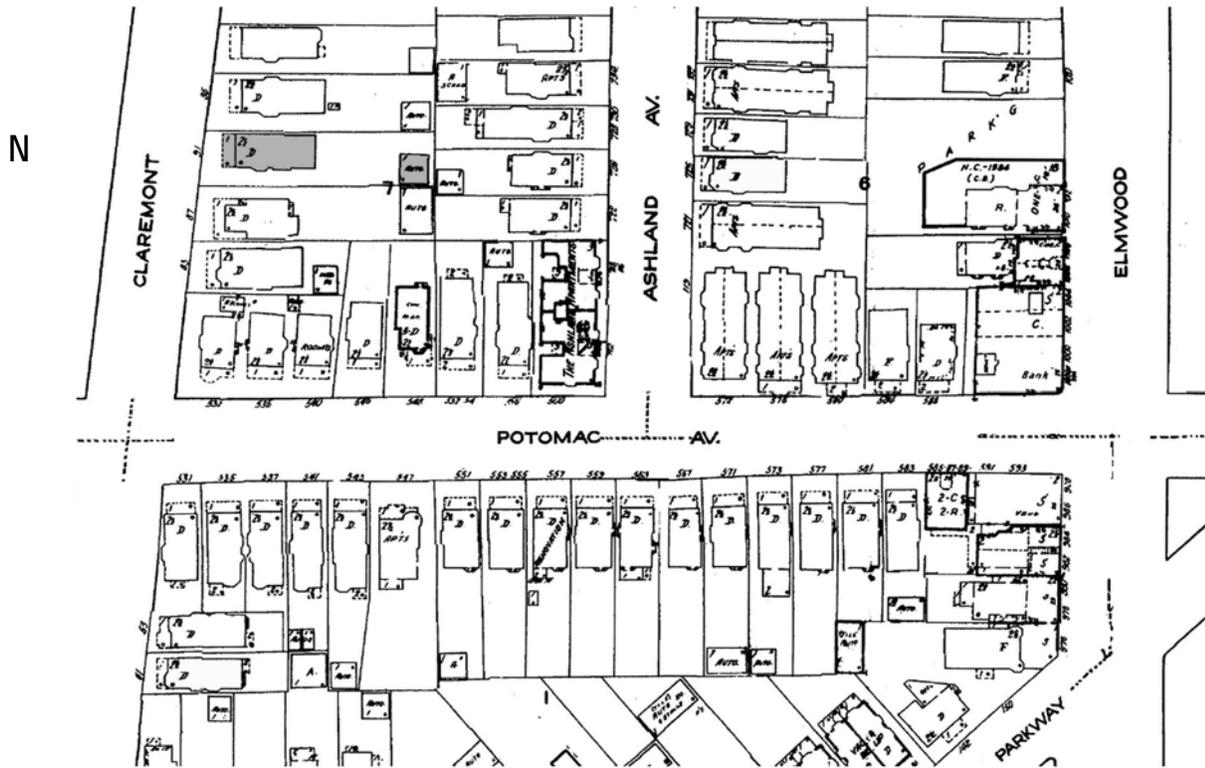
A two-and-one-half story, hipped and side gabled, urban, frame residence of modest Queen Anne influenced style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed porch with square column supports, solid wood rail, modest flat frieze, and an entry stair in the extreme north bay. The modestly framed and sidelighted main entrance is located in the north bay of the façade. A framed triple window group occupies the south bay. The second floor façade has a polygonal oriel with triple windowing in the south bay contained under the eaves and a remaining porch entrance in the north over the lower main entrance. Flared hipped roof dormer with triple window accent rests centered on the front slope. Two-story, protruding polygonal and rectangular bays visible on the south elevation beneath the pent of the substantial enclosed side gable; side gable end punctuated by paired window. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, 9/1 and 12/1 windowing on the second story oriel. Brick chimney visible on the center ridge to the front of the side gable. Additional detailing includes corner boards, bracketing, modest frieze and framing.

A garage occupies the south rear corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 91 Claremont Avenue is significant as a good representative example of a two-and-one-half story, hipped and side gabled, urban, frame residence of modest Queen Anne influenced style. Styled doubles of varying Queen Anne influence, such as this, were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Frontier Improvement Co.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-17)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 95 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1900

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : asphalt shingle

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 95 Claremont Avenue is set on a slightly trapezoidal lot, located on the east side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

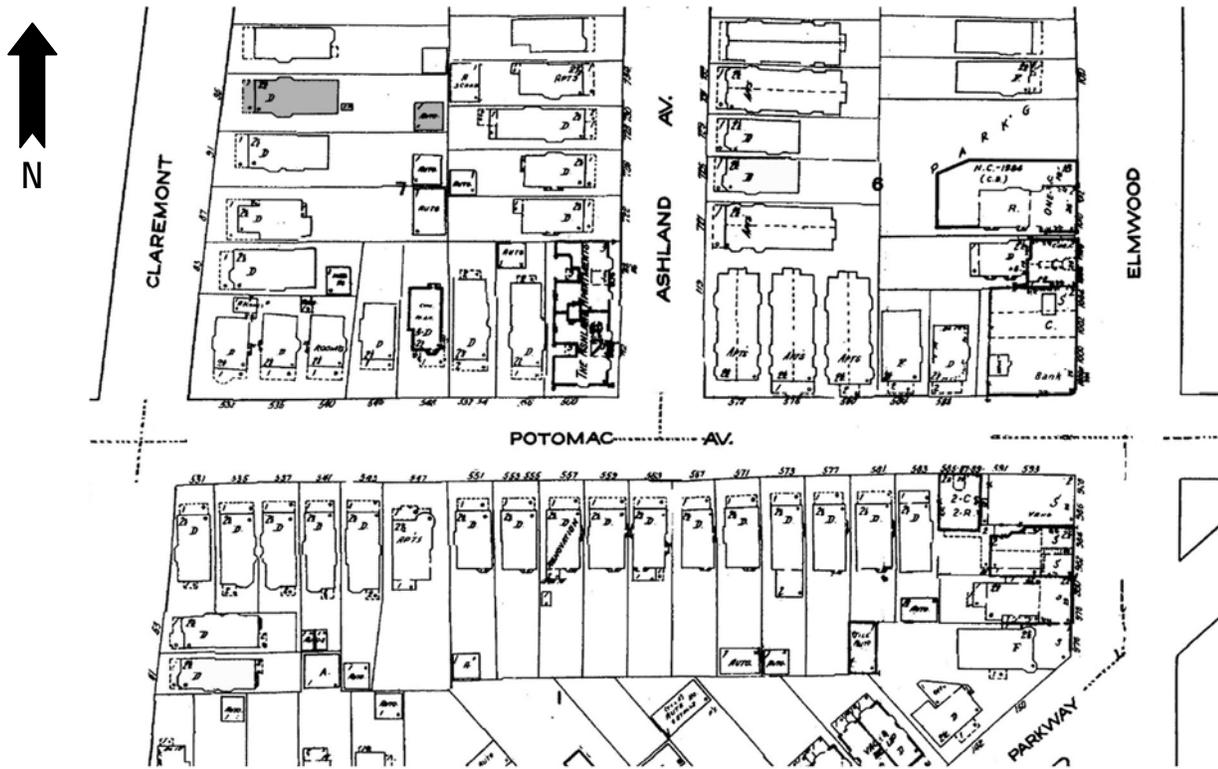
A two-and-one-half story, substantial cross gabled, urban, frame residence of Queen Anne styling. It has a rough rectangular, symmetric plan and is set on a stone foundation. The façade has a full-width porch with metal rail and supports, wide frieze space, and an entry stair in the extreme north bay. The main entrance is located in the north bay of the façade. A framed triple window group occupies the south bay. The second floor façade has an open porch with metal rail, a porch entrance in the north over the lower main entrance, and a polygonal oriel with triple windowing in the south bay contained under the pent of the enclosed gable end. A triple window punctuates the front gable end. Two-story, protruding polygonal bay visible on the south and north elevations beneath the slightly projecting enclosed side gables; side gable ends punctuated by two single windows. Exterior wall fabric is wood clapboard, with asphalt shingle in the gable ends. Fenestration is primarily one-over-one double-hung wood sash and fixed; 2/2 windowing on triple window on the lower façade. Additional detailing includes corner pilasters, bracketing, lookouts, ornamented frieze with festoons, and framing.

A garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 95 Claremont Avenue is significant as a good representative example of a two-and-one-half story, substantial cross gabled, urban, frame residence of Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Daniel Boosing.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-16)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 99 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1907

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 99 Claremont Avenue is set on a slightly trapezoidal lot, located on the east side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

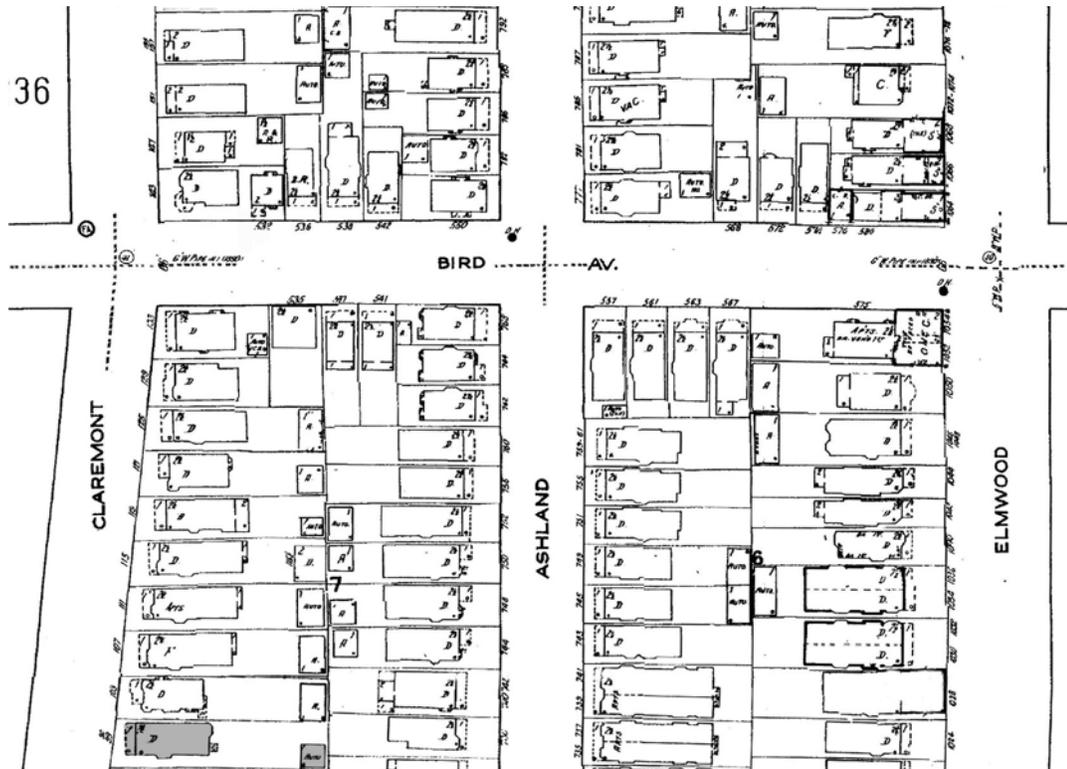
A two-and-one-half story, front gabled, urban, frame residence of Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with metal rail and supports, wide frieze space, and an entry stair in the extreme north bay. The main entrance with modest surround is located in the north bay of the façade. A wide, framed triple window group occupies the south bay. The second floor façade has an open porch with metal rail, a porch entrance in the north over the lower main entrance, and a polygonal oriel with triple windowing in the south bay contained beneath the slightly projecting front gable end. A Palladian window punctuates the front gable end. Two-story, protruding polygonal bay visible on the south elevation flush beneath the slightly extended gabled dormer that extends from the main crest; dormer accented by two single windows. Small exterior brick chimney on the front of the south elevation. Exterior fabrics are wood clapboard and decorative shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with scattered 6/1, 9/1, 12/1, and 2/2 windowing. Additional detailing includes corner pilasters, bracketing, shaped rafter tails, modest frieze and framing.

A garage occupies the south rear corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 99 Claremont Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for H. H. Lanctot

MAP: Sanborn Map (Revised 1986) – Plate 337



PHOTOGRAPH: (Grant-Ferry-Forest: R-; N-)







# HISTORIC RESOURCE INVENTORY FORM

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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 103 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 103 Claremont Avenue is set on a slightly trapezoidal lot, located on the east side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

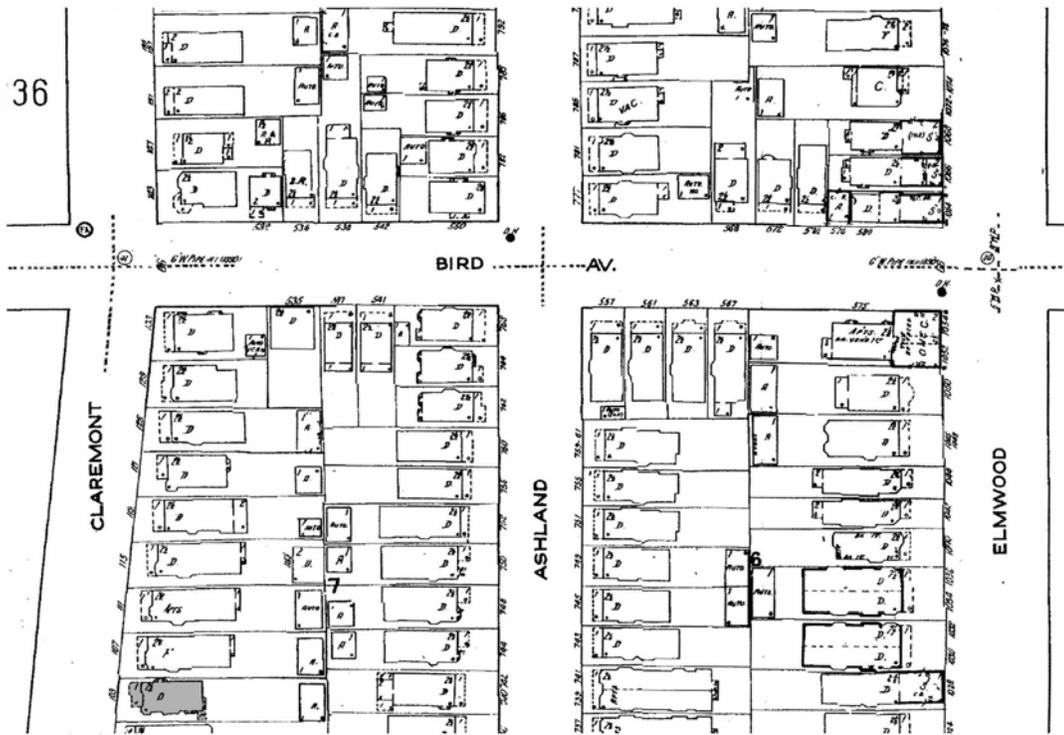
A two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The main entrance is located on the south bay of the façade, within an enclosed, ¼-width, shallow, pedimented vestibule with small metal railed entry porch and stair. A two-story, polygonal bay with triple windowing occupies the north bay of the façade, contained beneath the slightly projecting, pented front gable end. Leaded oval oculus with framing sets on the second floor façade over the entranceway. Extreme south bay and corner defined by a two-one-and-one-half story, engaged, polygonal, tower with flared roof. Multi-paned pair of windows punctuate the front gable peak. Gabled dormer with triple window accent on the north roof slope. Roofed, curved, protruding bay to the front on the north elevation; large bay on the south elevation. Rear section of lesser height not included under main gabled roof. Exterior fabrics are wood clapboard and decorative shingle, with vinyl siding in the gable end and on the dormer. Fenestration is primarily one-over-one double-hung wood sash and fixed, with multi-pane. Additional detailing includes corner boards, bracketing, lookouts, frieze, façade belt course, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 103 Claremont Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne styling. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 337



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-14)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 108 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1903

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

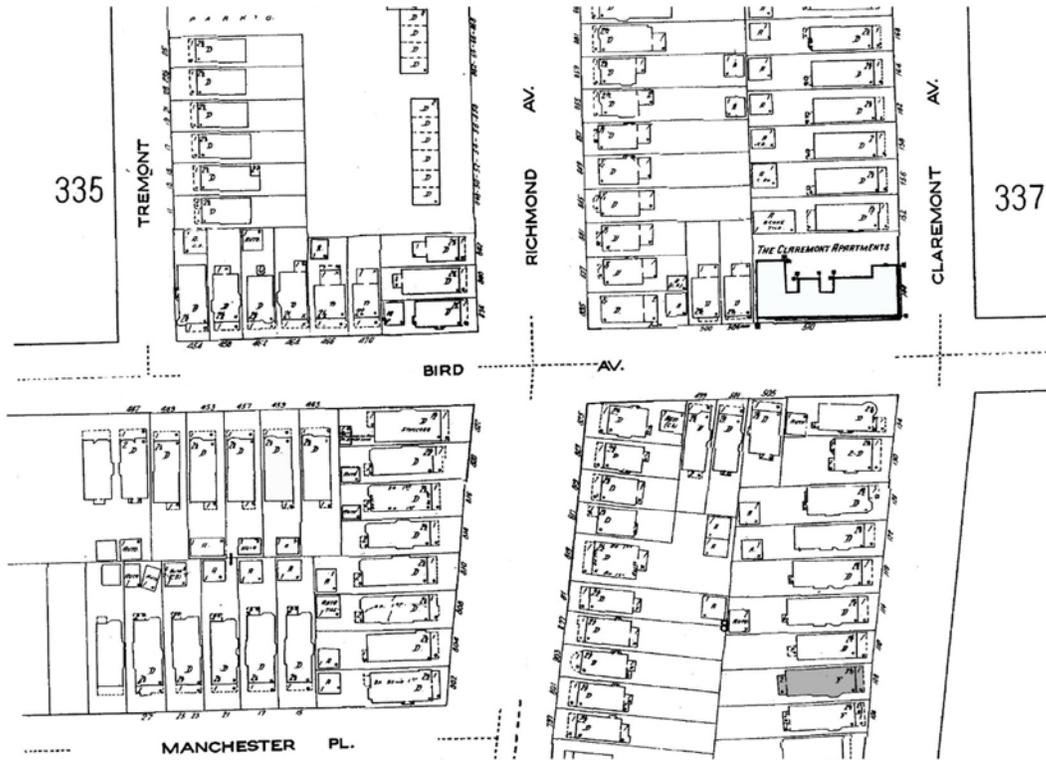
The two-family house at 108 Claremont Avenue is set on a slightly trapezoidal lot, located on the west side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, hipped roof porch with  $\frac{3}{4}$  height, paired column supports set on capped stone piers that flow into the foundation, open wood rail, modest frieze, and an entry stair in the north bay. The main entrance is located in the north bay of the façade, within an enclosed,  $\frac{1}{3}$ -width, shallow, rectangular vestibule. A triple window group occupies the south bay. The second floor façade has a  $\frac{1}{2}$ -width, flat roofed porch to the north, set into the roof of the lower story porch, with entrance and metal rail and support; a polygonal oriel with triple windowing occupies the south bay, contained beneath the pent of the front gable end. A triple window group punctuates the gable peak. Pedimented dormer and two shed roof dormers rest on the north slope. Additional dormers on the south slope; bay on the south elevation. Exterior brick chimney visible to the front on the north elevation. Exterior fabrics are wood clapboard with decorative shingle in the gable end. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 108 Claremont Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Two family dwelling built for H. H. Lanctot.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-21)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 110 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 110 Claremont Avenue is set on a slightly trapezoidal lot, located on the west side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with metal rail and supports, modest frieze and cornice, and an entry stair in the north bay. The main entrance is located in the north bay of the façade, within an enclosed, ½-width, shallow, rectangular vestibule; a single window sets to the north on the face of the vestibule. A curved bay accented by triple windowing with leading occupies the south bay. The second floor façade has an open porch with metal rail and support, a porch entrance in the north over the lower main entrance with similar single window to far north, and a curved oriel which matches the lower bay it sits over in the south. A small, framed triple window ribbon with latticed uppers accent the pent enclosed front gable end. Two-story polygonal bay on the south elevation, flush beneath a slightly extended gabled dormer. Exterior brick chimney visible to the front on the south elevation. Exterior fabrics are wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 110 Claremont Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for John F. Klopp.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-22)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 121 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known William L. Schmolle Date of construction, if known 1895

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 121 Claremont Avenue is set on a slightly trapezoidal lot, located on the east side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

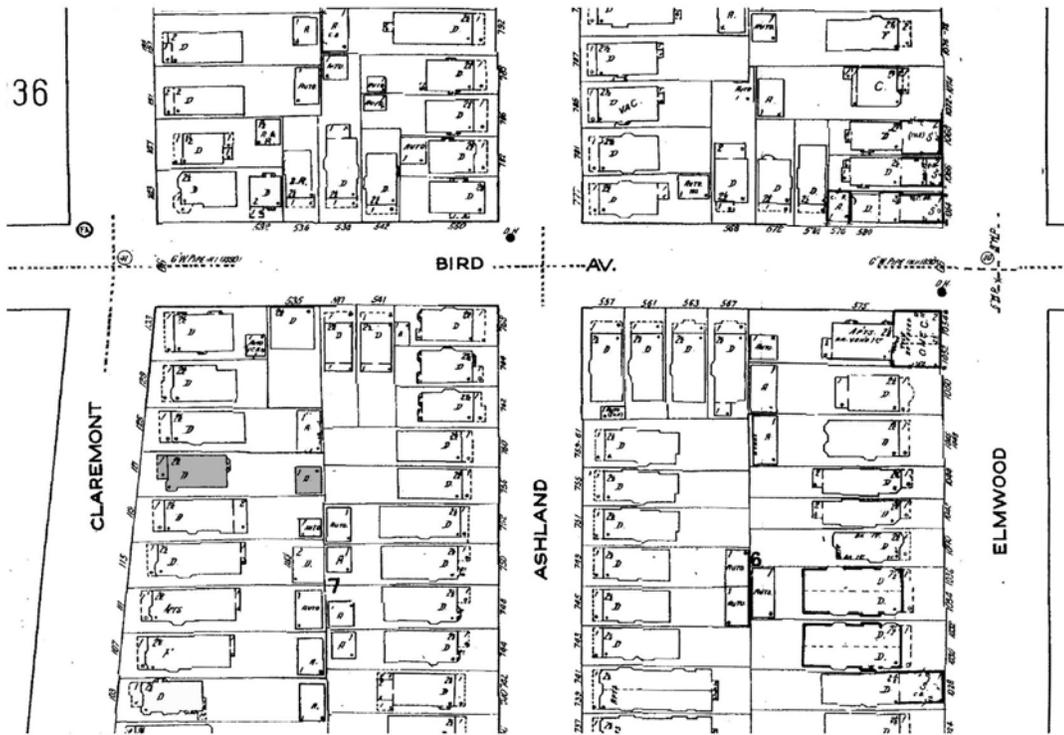
A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a ¾-width hipped roof porch to the north, with plain square column supports, spindled wood rail, flat frieze, ½-width elaborate scrolled pediment over the north portion, and an entry stair toward the south. The main entrance is located centered on the façade, under the porch. Grouped triple windows occupy the south bay under the porch. The far north bay and corner is dominated by a two-story polygonal bay with triple windowing, that rounds the corner and extends slightly down the south elevation. The second floor façade has a central single window and a wide polygonal oriel with paired window in the south, contained beneath the pent of the enclosed front gable. Front gable peak punctuated by paired window with long hood and patterned shingle shape-work. Two-story rectangular bay on the north elevation, beneath a slightly extended gabled wall dormer. Exterior brick chimney visible to the front on the north elevation. Exterior fabrics are wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest frieze and cornice, belt course, molding with subtle dentils, bracketing and rafter tails.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 121 Claremont Avenue is significant as a good representative example of an architect designed, two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled urban singles of Queen Anne influence, such as this, were common housing for upper middle and high class families in the late nineteenth and early twentieth centuries on the West Side. Built for William L. Schmolle.

MAP: Sanborn Map (Revised 1986) – Plate 337



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-12)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 129 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1895

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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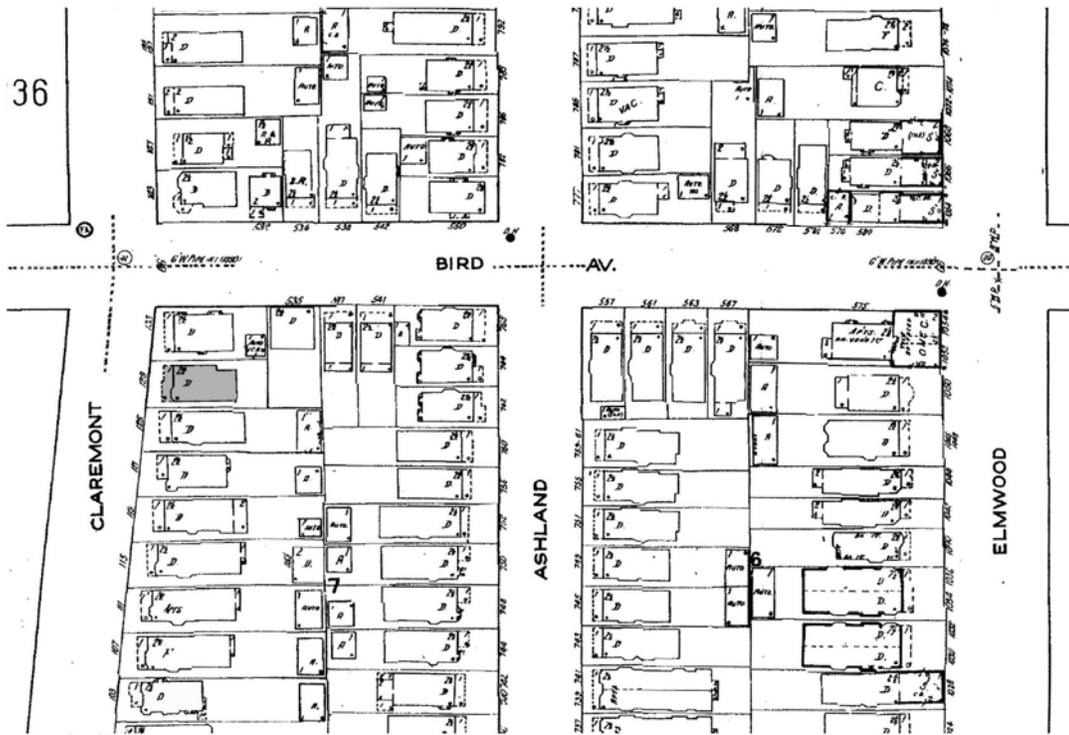
The single-family house at 129 Claremont Avenue is set on a shortened slightly trapezoidal lot, located on the east side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

A two-and-one-half story, side gabled, urban, residence of a mixed influence Colonial Revival style. It has a regular, shortened rectangular plan and is set on a low stone foundation. The façade has a centered, ½-width, flat roofed, enclosed living porch with contiguous elongated paired windows, engaged columns, patterned wood panel base, and modest frieze and cornice molding. A slim single window with shutters occupies the extreme side bays of the lower façade on either side of the porch. The modestly framed main entrance is located on the façade, centered in the north bay, with a ½-width metal rail entry porch and stair. A two-story polygonal bay with framed triple windowing dominates the south bay of the façade. The remaining second floor façade is defined by simple, even spaced, framed windowing. Small gabled dormer accented by shaped verge boards and single window with leaded upper rests centered on the north portion of the front roof slope. Larger gabled dormer of similar design with triple window group and patterned shingling rests on the southern section. Pent enclosed side gables punctuated by recessed window groupings. Rear section of residence not included under the main side gable. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Large brick chimney visible at the southern edge of the forward slope. Additional detailing includes modest corner boards, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 129 Claremont Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence of a mixed influence Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for high middle and upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for F. J. Barron.

MAP: Sanborn Map (Revised 1986) – Plate 337



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-11)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 130 Claremont Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1900

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 130 Claremont Avenue is set on a shortened slightly trapezoidal lot, located on the west side of the street, on the block between Potomac Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

A two-and-one-half story, front gabled, urban, vernacular frame residence of Queen Anne style. It has a rough, shortened rectangular plan. The façade has a full-width, hipped roof porch with ¾-height grouped turned column supports, set on decorative shingled piers that flow into the solid shingled rail, modest frieze and cornice, clapboard covered foundation, and centered small scrolled pediment over the central entry stair. The modestly framed main entrance is located centrally on the façade. A framed triple window group occupies the north bay. The second floor façade has a polygonal oriel in the south and a curved oriel in the north, both with leaded windowing and both contained beneath the slightly extended front gable end. Front gable peak punctuated by an enframed Palladian window. Small, roofed, polygonal bay window to the front on the south elevation. Secondary side entrance on the south elevation set in a two-story rectangular bay, flush under the eaves. beneath a slightly extended gabled wall dormer. Small rear extension with second story balcony. Brick chimney visible on the south slope to the rear. Exterior fabrics are wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 130 Claremont Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular frame residence of Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for high, middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-23)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) The Claremont Apartments  
Address or Street Location 144 Claremont Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

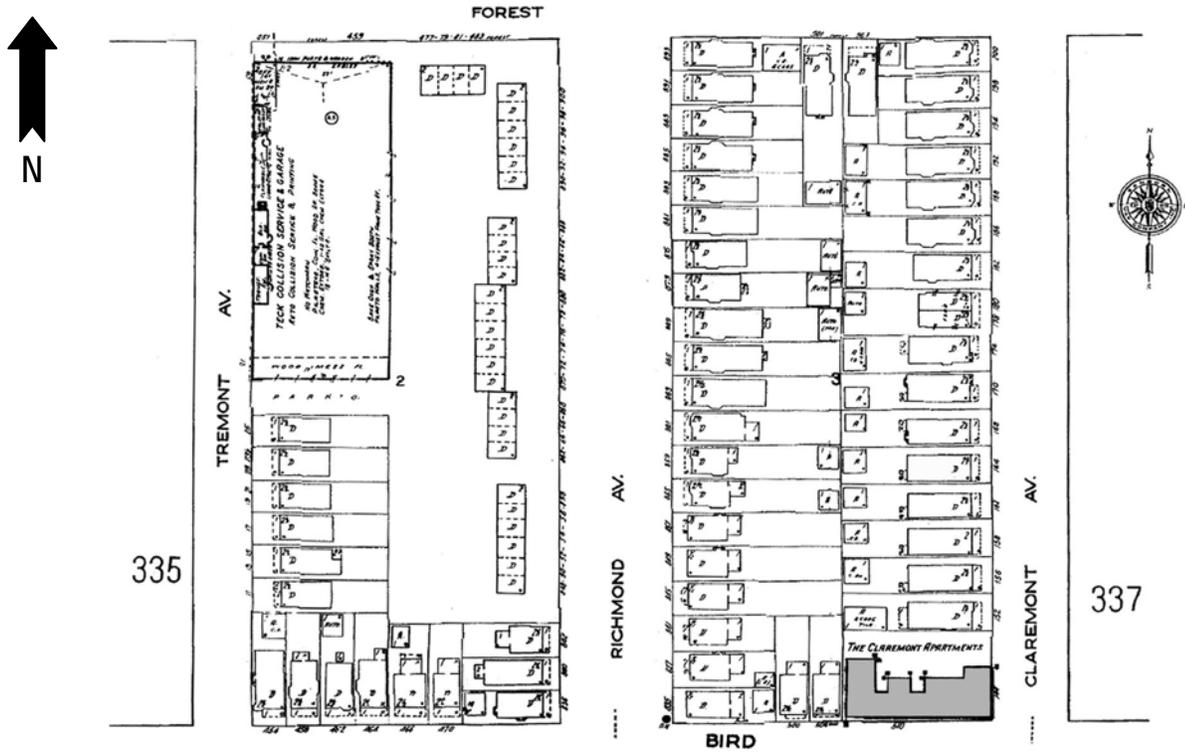
The building at 144 Claremont Avenue is set on a large slightly ell-shaped corner lot, located on the west side of the street, to the north side of the intersection of Claremont Avenue and Bird Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

A three- plus story, early twentieth century apartment building of Italianate and Neoclassical styling. It has an irregular plan with regular south and east sides which front main streets and many niches and extension in the rear. The building is oriented with its long façade fronting Bird Avenue. Main entrances with large, arched, stone surrounds are located in the far west of the south elevation and centered on the short east elevation. Stone belt course over partially submerged lower level. Upper stories defined by tiered, even spaced fenestration with stone sills and flared lintels with key stone. Stone quoins at the corners. Flat roof with capping and modest design. Exterior wall is brick with stone accents.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 144 Claremont Avenue is significant as a good representative example of a three- plus story, early twentieth century apartment building of Italianate and Neoclassical styling. One of few in the survey area.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-16; N-35)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 147 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1921

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 147 Claremont Avenue is set on a shortened lot, located on the east side of the street, at the south end of the block between Bird Avenue and Forest Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

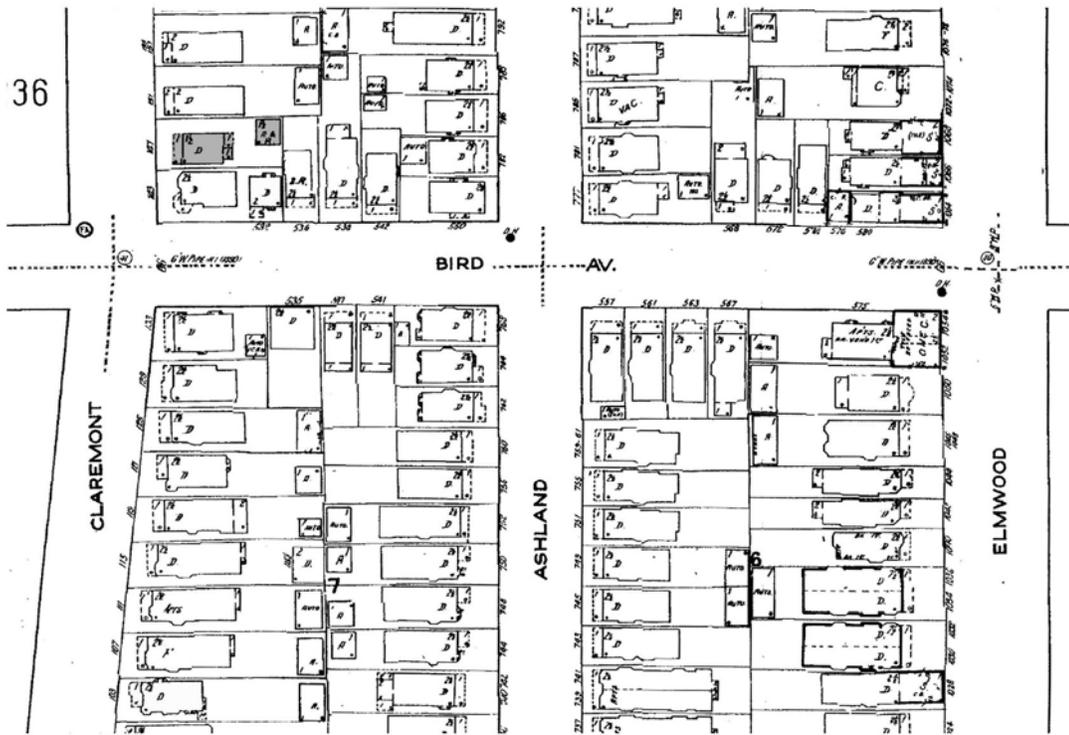
A one-and-one-half story, side gabled, urban, Craftsman bungalow residence. It has a regular rectangular plan. The façade has a full-width porch under the extended main roof, with thick square elephantine columns, solid patterned wood rail, shingle covered foundation, and entry stair in the north. The main entrance is located in the north bay of the façade. A triple window group occupies the south bay. Large gabled dormer with verge boards, brackets, and triple window group accent rests centered on the front roof slope. Secondary side entrance visible on the north elevation beneath a narrow rectangular oriel contained under the eaves, that extends up to the side gable peak, bisecting it. Brick chimney at the south edge on the upper forward slope and to the north on the rear slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is one-over-one, and six-over-one, and eight-over-one double-hung wood sash and fixed. Additional architectural details include wide overhanging eaves, verge boards, and extensive open bracketing.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 147 Claremont Avenue is significant as an excellent representative example of a one-and-one-half story, side gabled, urban, Craftsman bungalow residence. A style rarely seen in the Grant-Ferry-Forest neighborhood. Built for William Owens.

MAP: Sanborn Map (Revised 1986) – Plate 339



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-10)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 151 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1922

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 151 Claremont Avenue is set on a standard lot, located on the east side of the street, at the south end of the block between Bird Avenue and Forest Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

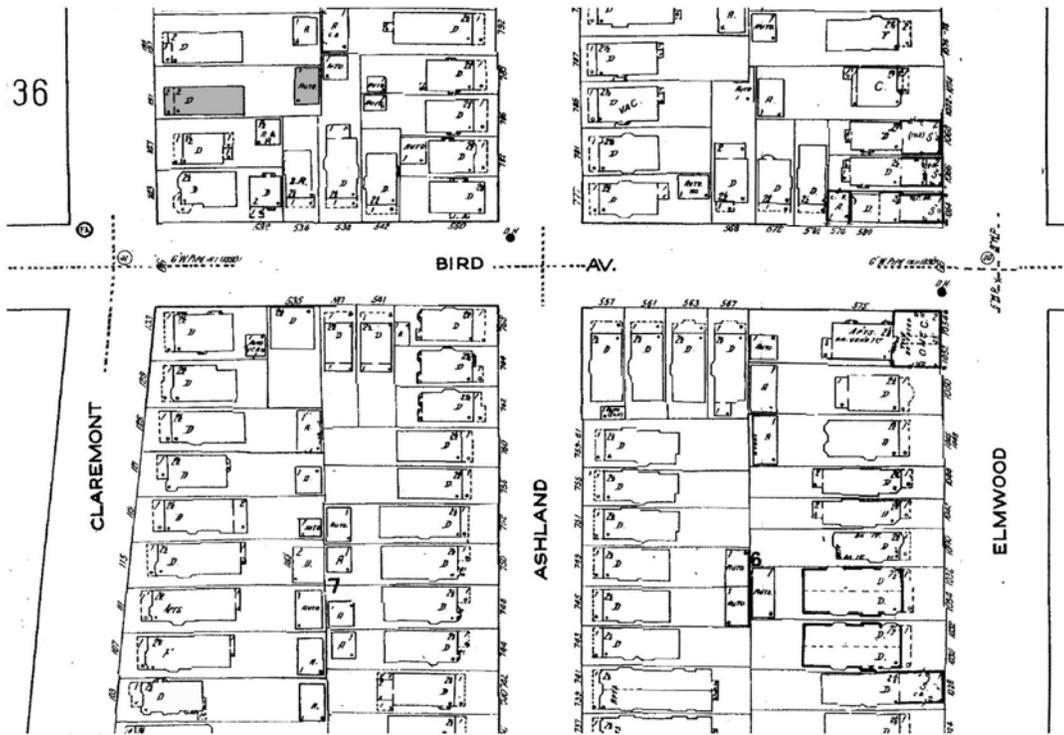
A two-story, hipped roof, urban, frame, double flat residence with mixed period Craftsman influenced style. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width, two-story, enclosed living porch contained under the main hipped roof. The lower porch façade is brick with continuous ribboned window upper and brick piers, wide frieze, and hipped pent overhang. The modestly framed and sidelighted main entrance is located on the porch façade set within a 1/3-width recessed niche, reached by a railed entry stair. The second floor porch façade is dominated by similar ribboned windowing. Hipped roof dormer with double window accent rests centered on the front slope. Wide, shallow, full-height rectangular bay on the south elevation, flush beneath the eaves. Exterior wall fabrics are clapboard and wood shingle, with brick on the lower porch. Fenestration is primarily one-over-one double-hung wood sash and fixed, with noted Queen Anne-like detailing on the porch windows. Brick chimney visible at the center ridge. Additional architectural details include wide open eaves and modest framing.

A garage sets in the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 151 Claremont Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame, double flat residence with mixed period Craftsman influenced style. Modestly styled urban doubles of varying design, such as this, were typical housing for upper lower and middle class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Alice B. Hoyer

MAP: Sanborn Map (Revised 1986) – Plate 339



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-9)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 164 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1914

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 164 Claremont Avenue is set on a standard lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

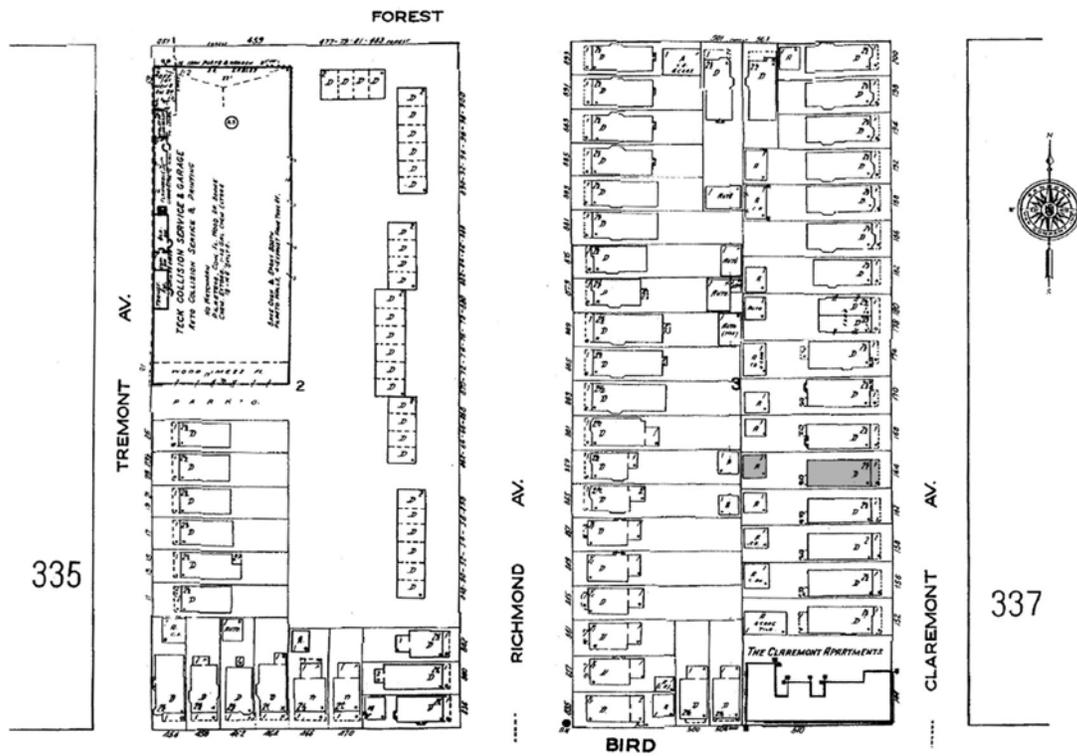
A two-and-one-half story, front gabled, vernacular, urban, frame residence with Queen Anne influenced styling. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width porch with square capiteled columns, open wood rail, wide frieze with cornice, and entry stair in the north bay. The main entrance is located in the north bay of the façade, set within a 1/3-width, shallow, enclosed, rectangular vestibule; small window to the north of the entrance. A triple window group occupies the south bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the north, and a polygonal oriel with triple windowing in the south bay contained under the pent of the enclosed gable end. A triple window punctuates the front gable end; gable peak raised slightly. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest trim and framing.

A garage sits at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 164 Claremont Avenue is significant as a good representative example of a two-and-one-half story, front gabled, vernacular, urban, frame residence with Queen Anne influenced styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for E. S. Fenwick

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-24)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 168 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1915

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 168 Claremont Avenue is set on a standard lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

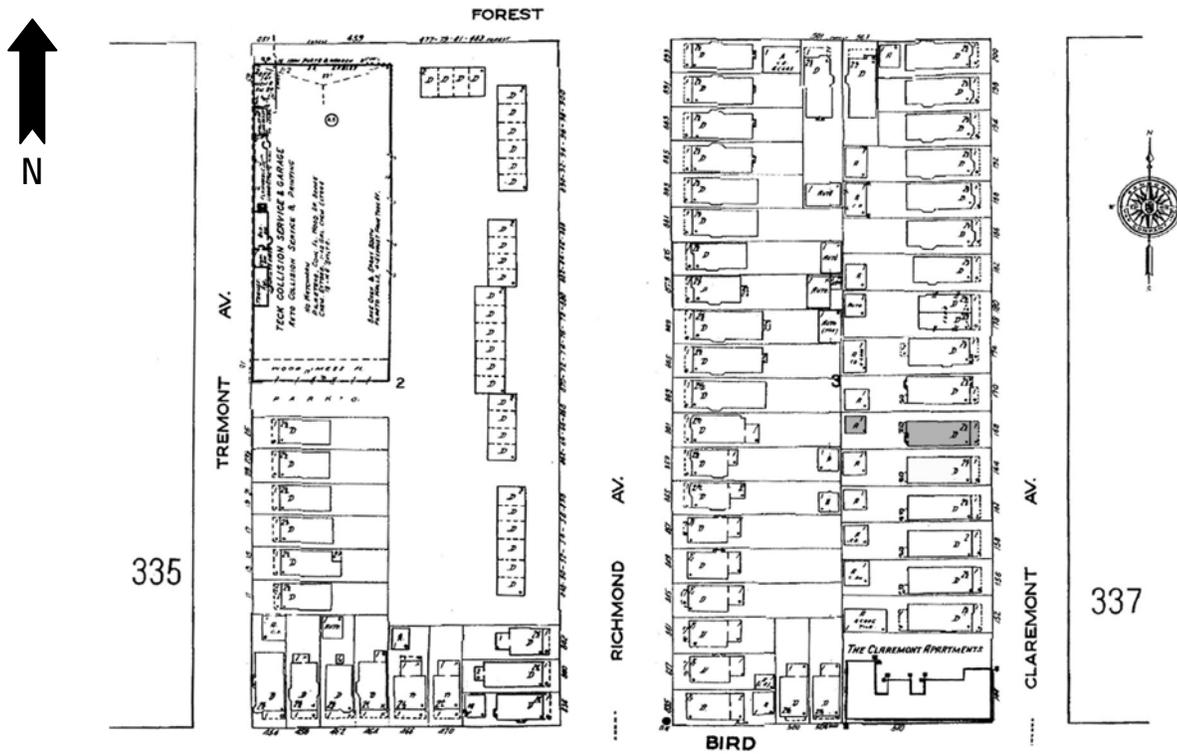
A two-and-one-half story, hipped roof, vernacular, urban, frame residence with mixed Queen Anne influences. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width porch with ¾-height brick column supports set on stone piers that flow into the foundation, metal rail, modest frieze, and an entry stair in the north bay. The framed and sidelighted main entrance is located in the north bay of the façade, set within a 1/3-width, shallow, enclosed, rectangular vestibule. Two evenly spaced single windows occupy the south bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the north, and a polygonal oriel with triple windowing in the south bay contained beneath the wide eaves. A hipped roof dormer with quartet ribboned window group accent rests centered on the front slope. Secondary side entrance on the north elevation set within a wide, shallow, full-height, rectangular bay contained under the eave. Brick chimneys just of the center ridge on the north slope and further down the south roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with 9/1 and 4/1 windowing on the facade. Additional detailing includes open eaves, modest trim and framing.

A garage occupies the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 168 Claremont Avenue is significant as a good representative example of a two-and-one-half story, hipped roof, vernacular, urban, frame residence with mixed Queen Anne influences. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Ernest S. Fenwick Co.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-25)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 178 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1912

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco and half-timbering

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 178 Claremont Avenue is set on a standard lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

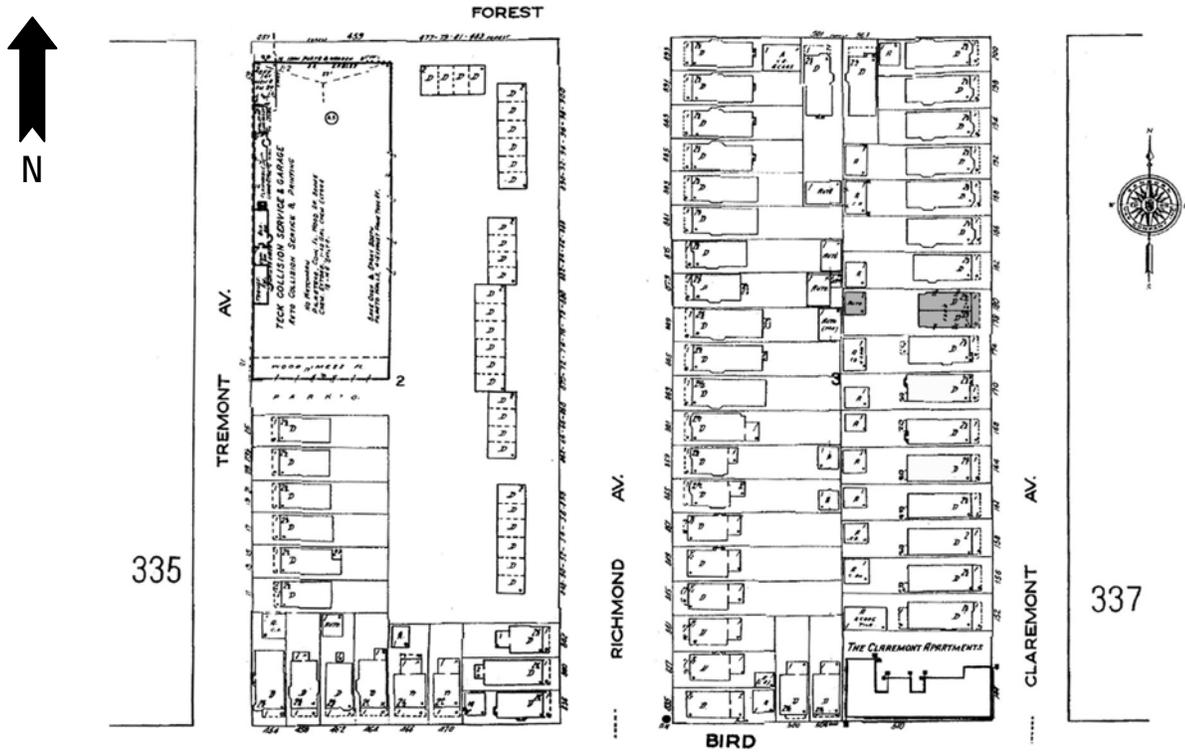
A two-and-one-half story, front gabled, urban residence with mixed Tudor influenced styling. It has a regular rectangular plan. The façade has a full-width, flat roofed, enclosed living porch with spaced ribboned window upper, and wide frieze and cornice. The main entrance is located on the south elevation under a bracketed shed roof entry. The second floor façade has an open porch with metal rail and awning supports, and a porch entrance in the far north bay that fits the pattern of the even spaced windows of alternating width that define the upper façade. The stucco and half-timbered gable end is punctuated by two, centrally located single windows. A small shed roof dormer rests on the south slope. Brick chimney at the center ridge. Exterior wall fabric is brick, with stucco and half-timbering. Fenestration is one-over-one, four-over-one, six-over-one, and six-over-two double-hung wood sash and fixed. Additional architectural details include verge boards, stone sills, trim and framing.

A garage occupies the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 178 Claremont Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban residence with mixed Tudor influenced styling. Modestly styled doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant.

MAP: Sanborn Map (Revised 1986) – Plate 336



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-26)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 189 Claremont Avenue

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1922

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 189 Claremont Avenue is set on a standard lot, located on the east side of the street, on the block between Bird Avenue and Forest Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavan Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

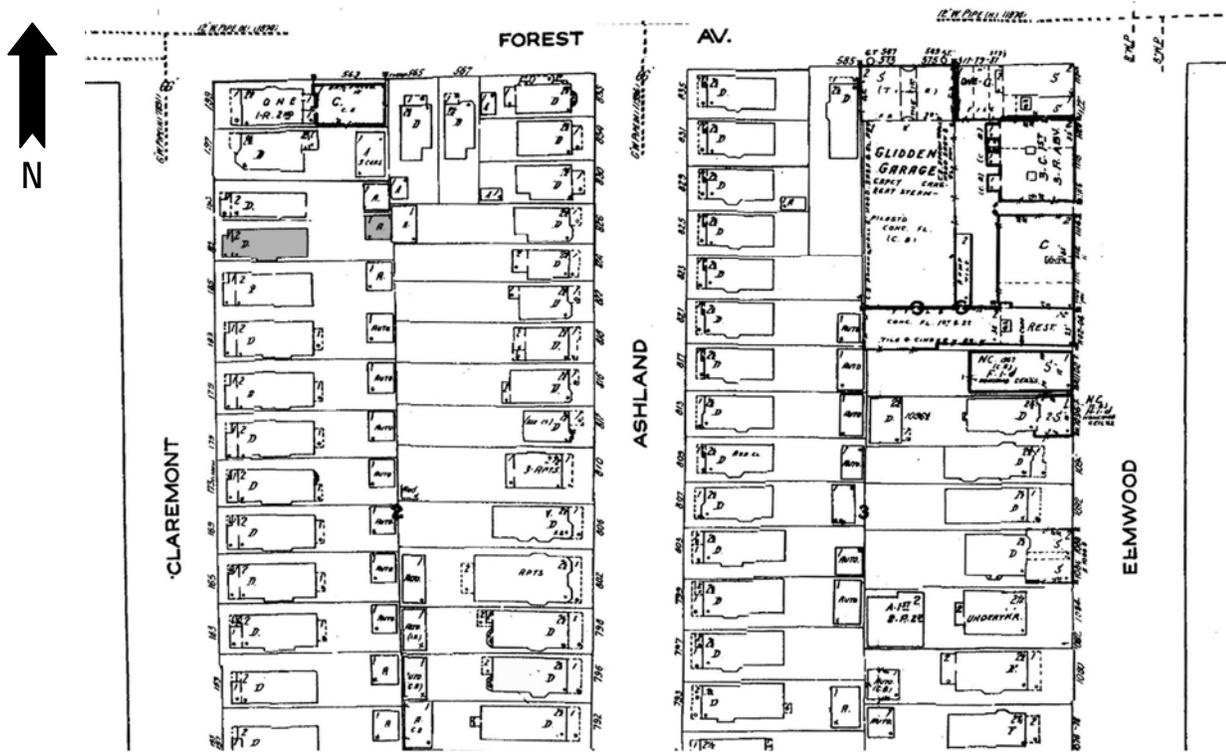
A two-and-one-half story, clipped front gable, urban, frame, residence with mixed Queen Anne influence. It has a rectangular plan and is set on a stone foundation. The façade has a ¾-width, enclosed living porch to the south, with triple ribboned window upper, shingled base, and small frieze; ¼-width entrance porch in the extreme north of the façade with square elephantine column corner support. The main entrance is located in the north bay of the façade under the open porch, with a metal railed entry stair. The second floor façade has an open porch with metal rail and awning supports, double porch entrance doors off center to the south, and a single window in the extreme of each side bay. The pent enclosed gable end is punctuated by a recessed triple window. A gabled dormer with paired window accent rests on the north roof slope. Secondary side entrance on the north elevation. Brick chimneys near the center ridge on the north slope and further down on the south slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with 9/1 windowing in the gable. Additional architectural details include modest corner boards and framing.

A garage occupies the north rear corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 189 Claremont Avenue is significant as a good representative example of a two-and-one-half story, clipped front gable, urban, frame, residence with mixed Queen Anne influence. Modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Two family dwelling and garage built for Morris Gevertzman, who also built 183, 185, and 193 Claremont at the same time.

MAP: Sanborn Map (Revised 1986) – Plate 337



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-8)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 193 Claremont Avenue  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1922

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 193 Claremont Avenue is set on a standard lot, located on the east side of the street, at the north end of the block between Bird Avenue and Forest Avenue. Claremont Avenue is a medium sized, north-south, residential street that runs between West Delavn Avenue and Forest Avenue. The property is located in an upscale residential area of the north eastern section of the Grant-Ferry-Forest neighborhood. The southern portion of the street is part of the Historic District.

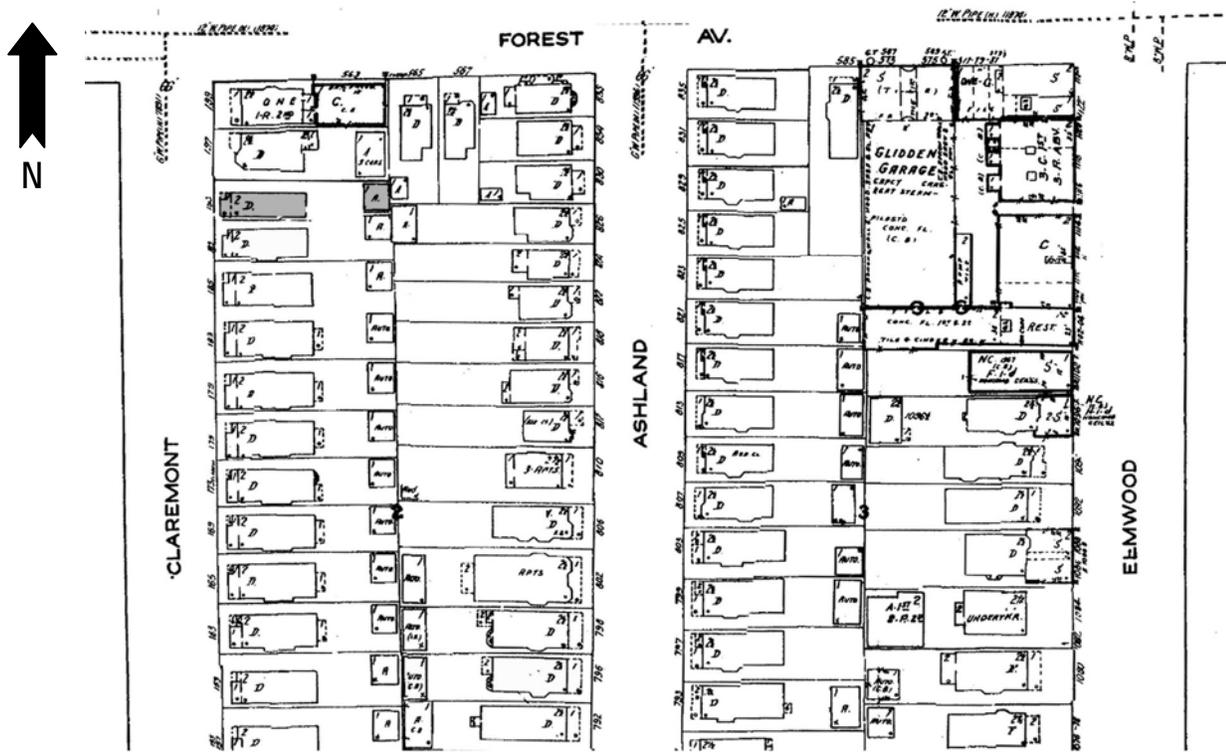
A two-story, hipped roof, urban, frame, residence with subtle mixed period influencing. It has a rectangular plan and is set on a stone foundation. The façade has a ¾-width, enclosed living porch to the south, with triple ribboned window upper, and hipped pent overhang; ¼-width entrance porch in the extreme north of the façade with square column corner support. The main entrance is located in the north bay of the façade under the open porch, with a metal railed entry stair. The second floor façade has an open porch with metal rail and awning supports, porch entrance in the extreme north bay, and a triple window group to the south. Hipped roof dormer with triple window accent rests centered on the front slope. Similar dormer with paired window sets on the north roof slope. Secondary side entrance with awning visible on the north elevation. Brick chimneys at the center ridge and at the edge of the south slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional architectural details include modest corner boards and framing.

A small shed roof garage with half-timbered façade occupies the rear north corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 193 Claremont Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame, residence with subtle mixed period Queen Anne influencing. Modestly styled doubles of varying influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side, though those with heavy Queen Anne influence are most frequently seen. Two family dwelling and garage built for Morris Gevertzman, who also built 183, 185, and 189 Claremont at the same time.

MAP: Sanborn Map (Revised 1986) – Plate 337



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-7)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 10 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1898

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple family dwelling at 10 Colonial Circle is set on a trapezoidal lot, located on the west side of the street, on the southern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

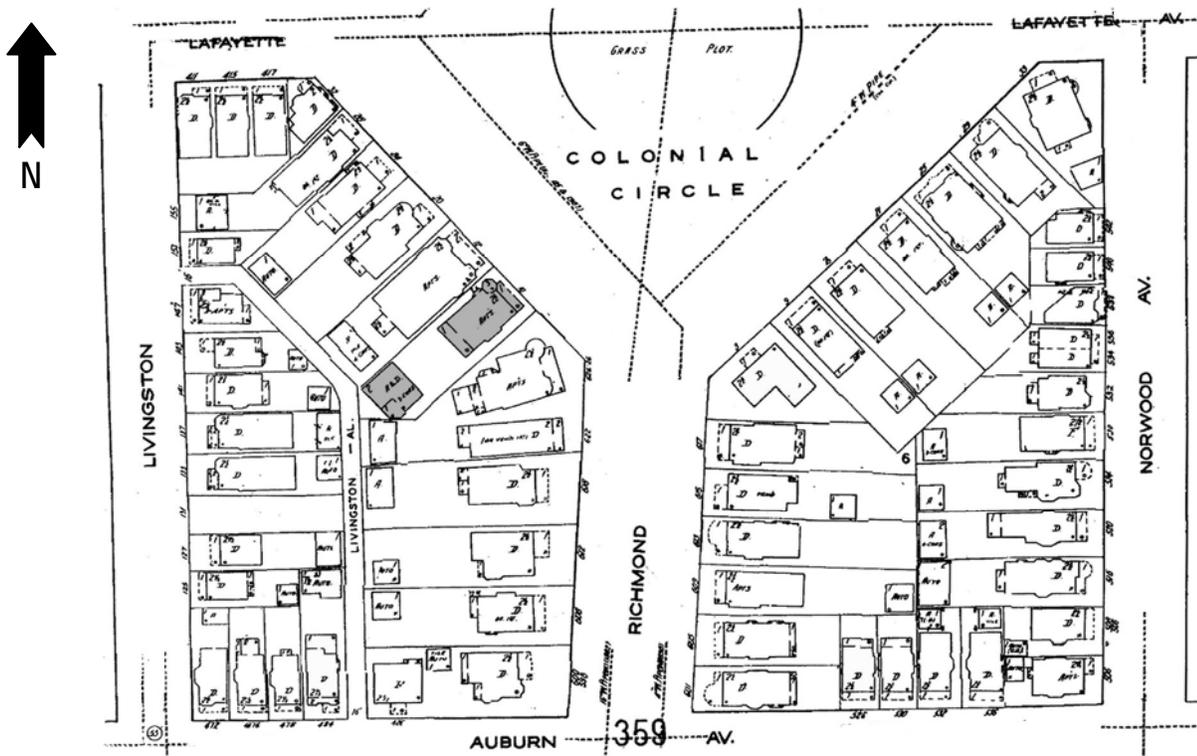
A two-and-one-half story, hipped and lower side gabled, urban, frame residence of Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with ¾-height Ionic columns set on solid brick rail, wide frieze, elaborate cornice and entablature, and an entry stair to the north. The modestly framed main entrance is located in the north of the façade, under the porch, within a 1/3-width enclosed rectangular vestibule which flows into the north bay tower. A large triple window group with matching framing occupies the south bay. The extreme north of the façade is defined and dominated by a three-story engaged tower which extends the width of the building, rounding the north corner. The second floor façade has an open porch with decorative metal rail, porch entrance off center to the north, and a curved oriel in the south bay. A hipped roof dormer with paired window rests centered on the forward slope. Polygonal bay visible on the south elevation; bracketed, second-story, rectangular oriel directly above the bay flows flush into a slightly protruding lower side gable. Two-story, shed roof, enclosed porch addition with secondary entrance at the rear of the south elevation. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, with notable 12/1 and 20/1 on the dormer and tower, respectively. Additional detailing includes ornamented frieze with festoons, cornice, belt course, and framing.

A large garage with additional apartments occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 10 Colonial Circle is significant as a good representative example of a two-and-one-half story, hipped and lower side gabled, urban, frame residence of Queen Anne style. Originally a single-family dwelling, styled urban singles of varying Queen Anne influence, such as this, were common housing for upper class families in the late nineteenth and early twentieth centuries on the West Side. Built for Philip Dohn. A Contributing building to the Richmond Avenue-Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-3; N-11)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 12 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1902

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple family dwelling at 12 Colonial Circle is set on a standard deeply set diagonal lot, located on the west side of the street, on the southern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

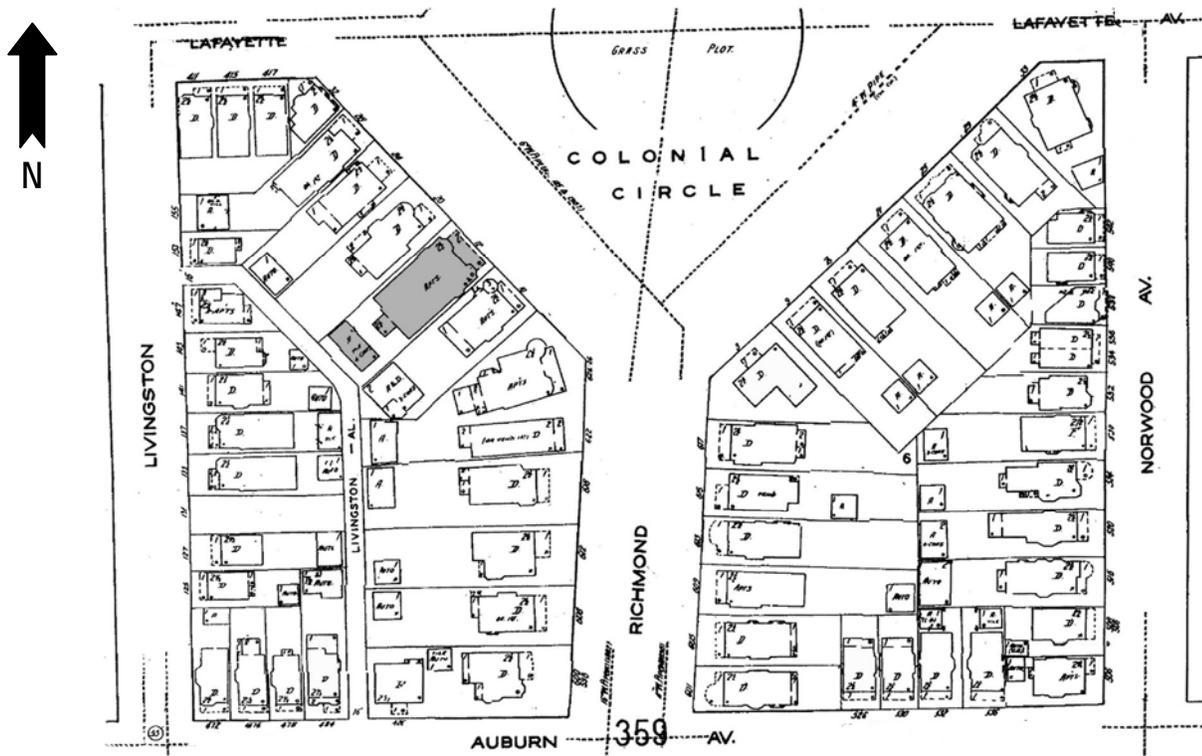
**NON-CONTRIBUTING**

A two-and-one-half story, hipped roofed, urban, frame residence of complex design and mixed Colonial, Neoclassical styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 12 Colonial Circle is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered vinyl siding.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-7; N-18)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 15 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family dwelling at 15 Colonial Circle is set on a standard deeply set diagonal lot, located on the east side of the street, on the southern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

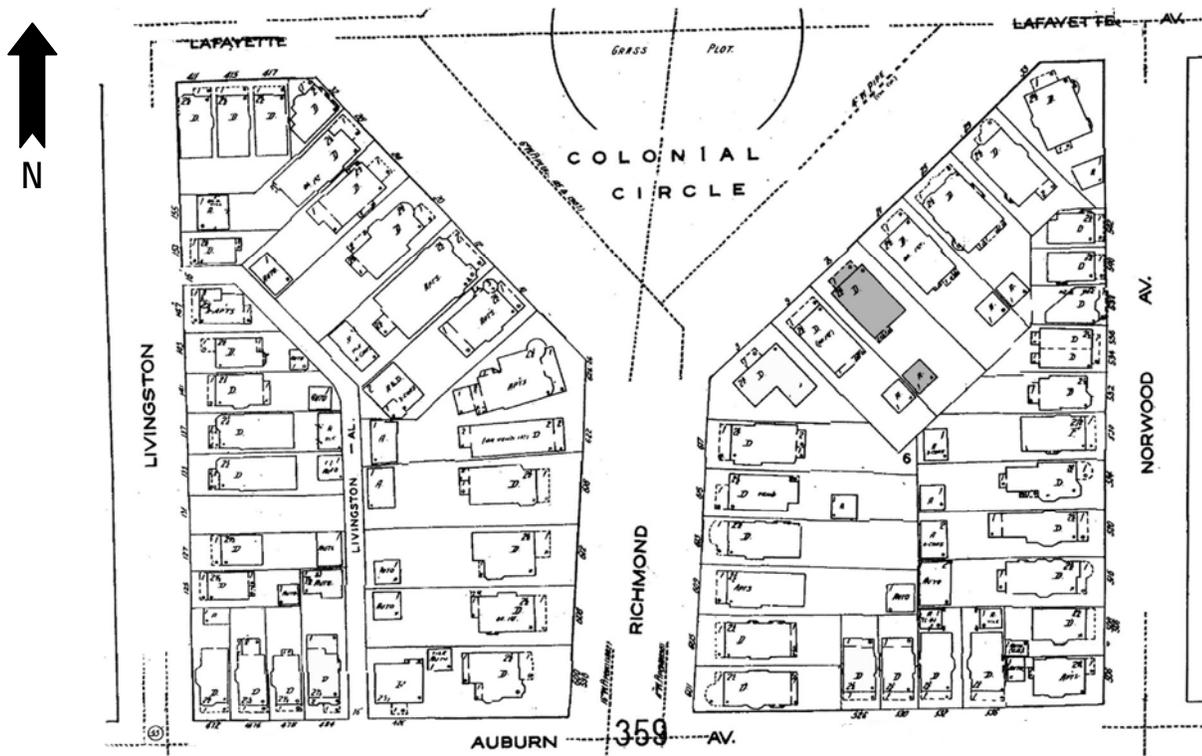
A two-and-one-half story, side gabled, urban, residence of a Colonial Revival style. It has a regular, shortened rectangular plan and is set on a low stone foundation. The façade has a centered, ½-width, flat roofed, enclosed living porch with contiguous elongated paired windows, engaged columns, patterned wood panel base, and modest frieze and cornice molding. A slim single window with shutters occupies the extreme side bays of the lower façade on either side of the porch. The main entrance with arched surround is located centrally on the north elevation, with a small entry stair. The second floor façade is defined by simple symmetric windowing with shutters. Two pedimented dormers with single window accent rest on the front roof slope, one centered over each side bay. Side gables punctuated by a single window. Rear section of residence not included under the main side gable. Small gabled dormer with paired window visible on the rear hipped roof section on the south. Exterior wall fabric is wood shingle on the lower story and dormers with stucco upper. Fenestration is six-over-one and six-over-six double-hung wood sash and fixed. Large brick chimneys visible at the southern edge of the forward slope and on the rear section. Additional detailing includes modest belt course, frieze, and framing.

A garage sets at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 15 Colonial Circle is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence of a Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for high middle and upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for George H. Kennedy. A Contributing building to the Richmond Avenue-Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-3; N-7)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 20 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Broadway-Fillmore Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

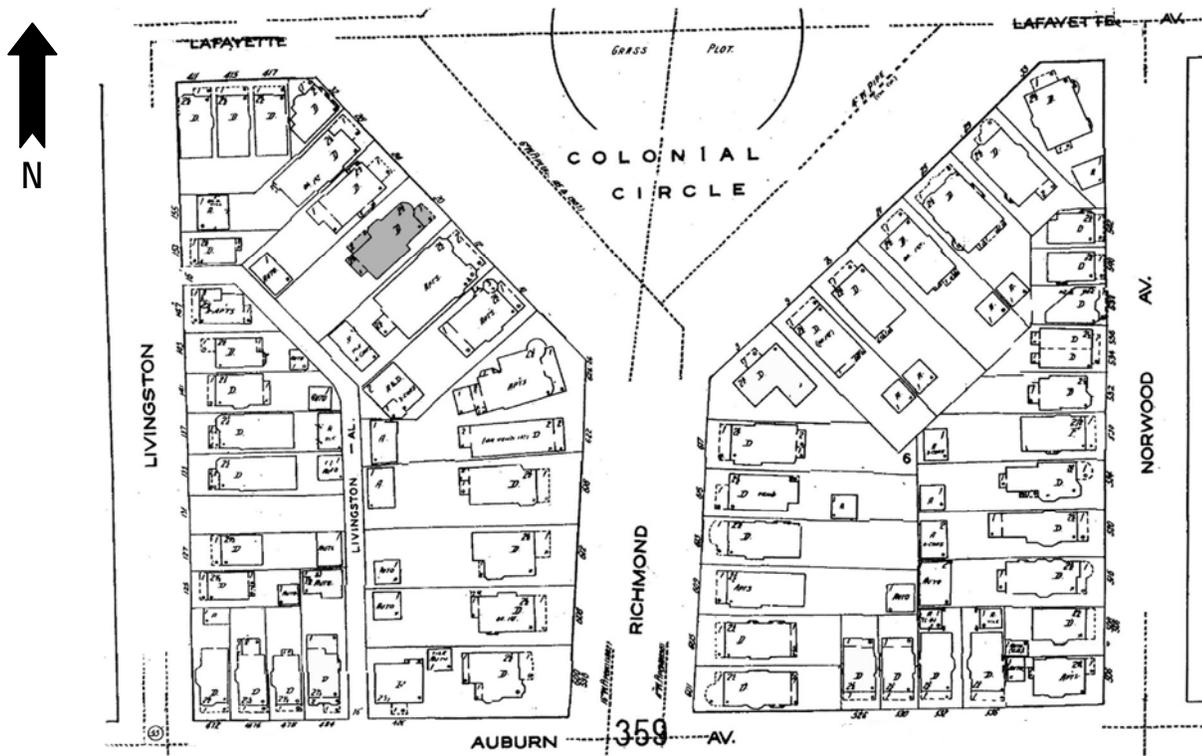
The single-family dwelling at 20 Colonial Circle is set on a standard deeply set diagonal lot, located on the west side of the street, on the southern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

A two-and-one-half story, side gabled, urban, frame residence of mixed style and design – Colonial, Queen Anne, and Craftsman elements present. It has an irregular, though roughly rectangular, plan and is set on a stone foundation. The façade has a full width porch with grouped square column supports, open wood rail, modest frieze, extended open eaves, on the roofed section to the south; north ¼ open with stone rail extending to the foundation and front, metal railed, entry stair. The main entrance with pointed arch, leaded sidelight surround is located in the south bay of the façade, under the porch. The north bay of the façade is dominated by a two-story, projecting, curved bay with slight roof. The second floor façade has a an ¾-width open porch to the south, with decorative metal rail and framed porch entrance. Large gabled wall dormer with triple window accent, verge boards, brackets, and exposed rafter tails rests on the north section of the front roof slope, directly above the extended bay. Smaller gabled dormer with single window and similar detail sets centered on the southern portion of the front slope. Rear section of dwelling not included under main side gable. Long, full-height, rectangular bay extension along the rear half of the south elevation; partially roofed by a projecting lower side gable with brackets. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Several brick chimneys visible. Additional detailing includes frieze and cornice, exposed rafter tails, bracketing, modest belt course, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 20 Colonial Circle is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of mixed style and design. Unique mixed styling, but over all of a vein characteristic of single-family residences of the era and the neighborhood. Styled urban singles of varying design, such as this, were typical housing for high middle and upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Elmer Tewkesbury. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-3; N-12)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 24 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family dwelling at 24 Colonial Circle is set on a standard deeply set diagonal lot, located on the west side of the street, on the southern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

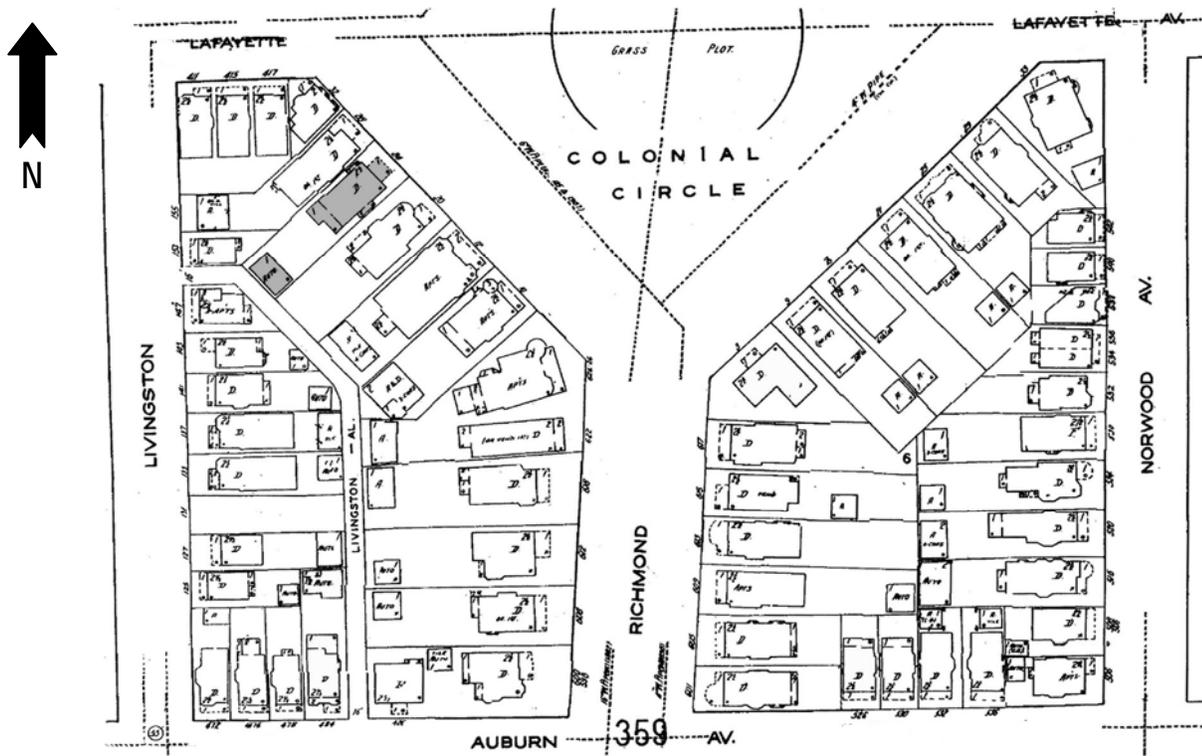
A two-and-one-half story, side gabled, urban, residence of a mixed Colonial Revival style. It has a roughly rectangular plan and is set on a low stone foundation. The façade has a centered, ½-width, pedimented with thick ¾- height column supports set on patterned wood posts, spindled wood rail, notable frieze and entablature, shingled covered foundation, and large central entry stair. The framed main entrance is located on the façade, under the porch, just off center to the north. A slim single window sets to the south of the entrance under the porch. Framed single windows occupy the extreme side bays of the lower façade on either side of the porch. The second floor façade is defined by a framed paired window in each side bay and a central small single window with leaded panes. Two flared gabled roof dormers accented by enframed single windows with arched transoms rest on the front roof slope, one centered over each side bay. Two-story, rectangular bay with gabled roof visible on the south elevation centered beneath the main side gable. Small, first-story polygonal bay to the front of the north elevation. Rear extension with second story open porch. Exterior wall fabric is wood clapboard. Fenestration is one-over-one, three-over-three, six-over-six, and eight-over-eight double-hung wood sash and fixed. Large brick chimney centered on the southern elevation extending from the lower roof of the bay and extending up with capped attachment to main side gable. Additional detailing includes extensive verge boards, bracketing, decorative molding detail, and framing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 24 Colonial Circle is significant as a good representative example of a two-and-one-half story, side gabled, urban, residence of a mixed Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-3; N-16)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 28 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1906

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco and half timbering	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family dwelling at 28 Colonial Circle is set on a irregular diagonal elled lot, located on the west side of the street, on the southern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

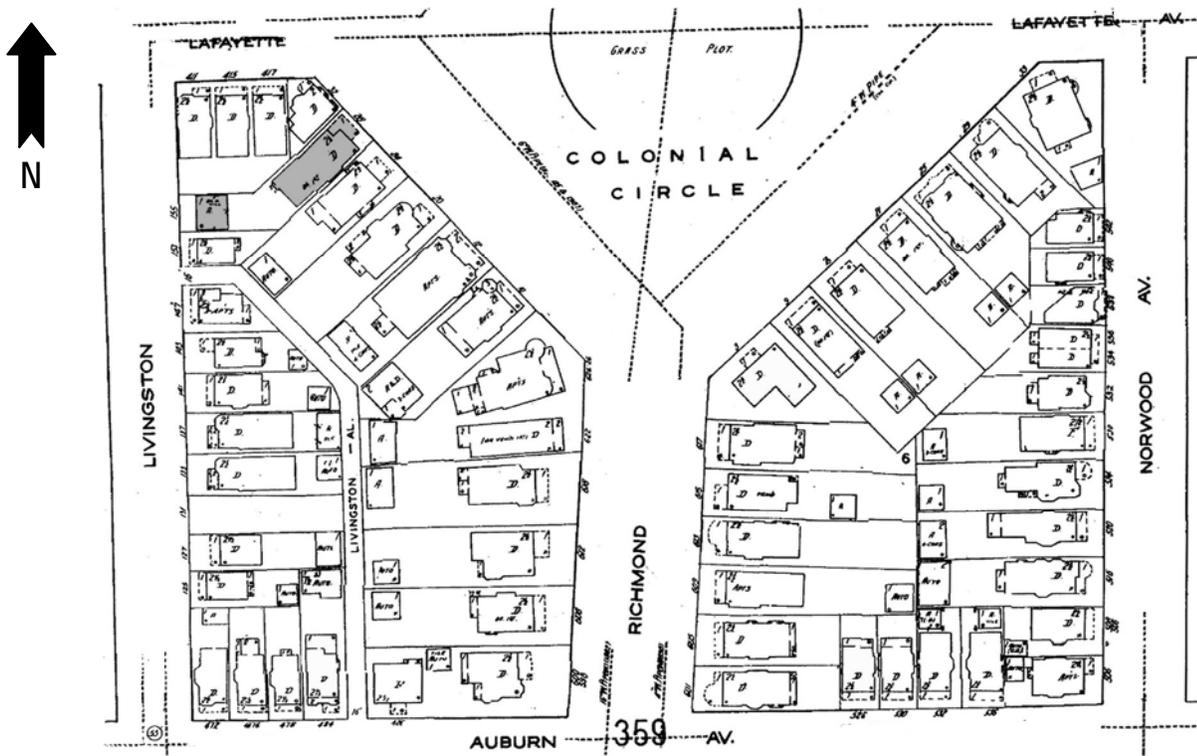
A two-and-one-half story, front gabled, urban, Tudor Revival inspired residence. It has a roughly rectangular plan. The façade has a ½-width porch to the north, with solid bracketed wood post supports, open wood rail, small frieze, and entry stair. The main entrance is located on the façade, under the porch, set in the recessed corner of the extreme north bay. A slim window with latticed transom sets to the south of the niche, under the porch. A windowed polygonal bay occupies the south bay, flush beneath the slight projection of the upper stories. The second floor façade has a ½-width open porch over the lower porch, with modern metal rail and awning supports; porch entrance set in the recessed north corner, roofed by extension on the main front gable. An elongated triple window group in the south and paired window in the north, both with noted framing and thick turned wood mullions, further define the second story façade in addition to the half timbering. Bracketed and slightly protruding front gable end accented with a paired window and continued half timbering. Two gabled dormers visible on the south roof slope. Multi-story rectangular oriel visible on the south elevation. Exterior wall fabric is brick with stucco and half timbering on the upper story façade, dormers, bays, and oriels. Fenestration is one-over-one and nine-over-one double-hung wood sash and fixed with notable leaded transoms. Large brick chimney at the forward corner of the south slope.

A garage occupies the rear of the lot, fronting Livingston Street.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 28 Colonial Circle is significant as an excellent representative example of a two-and-one-half story, front gabled, urban, Tudor Revival inspired residence. One of several Tudor residences in the survey area. Styled urban singles of varying design, such as this, were typical housing for high middle and upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for George W. Puls. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-3; N-14)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 29 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1898

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

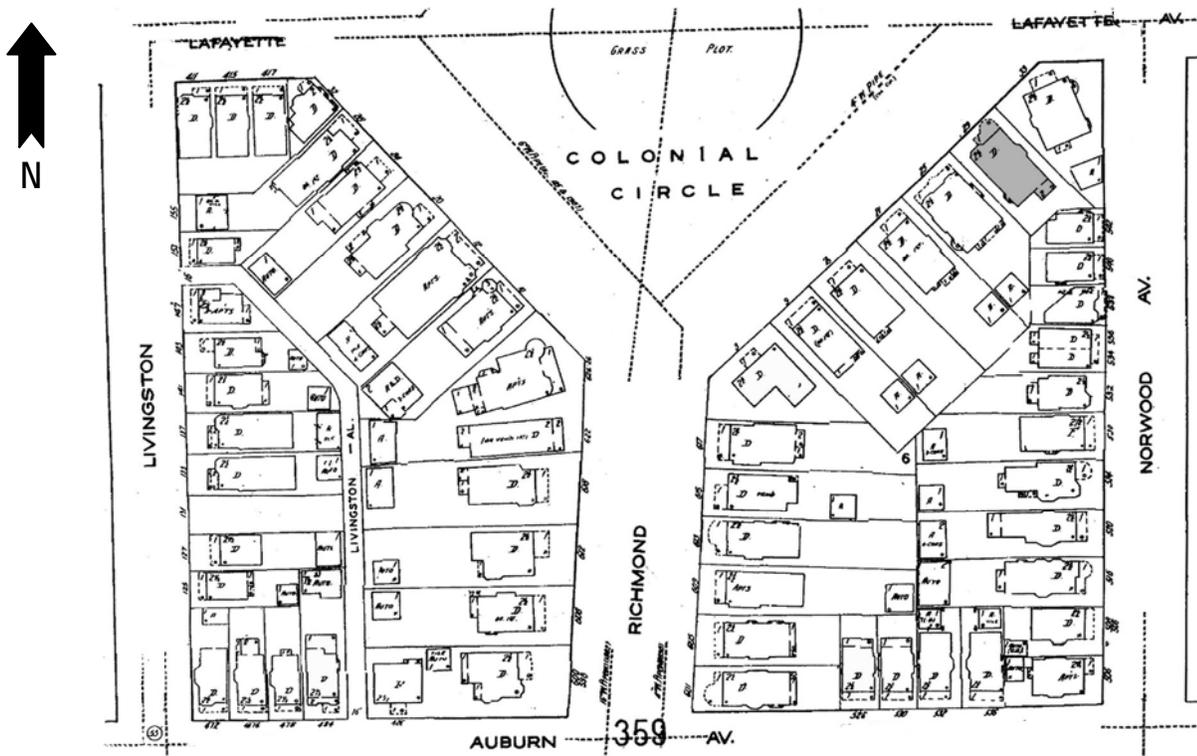
The single-family dwelling at 29 Colonial Circle is set on a slightly irregular deeply set diagonal lot, located on the east side of the street, on the southern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

A two-story, hipped roof, urban, residence of a high Colonial Revival style with Queen Anne influence. It has a roughly rectangular plan and is set on a low stone foundation. The façade has a full-width, enclosed, flat roofed, living porch with continuous elongated, multi-paned casement windowing with transom, engaged columns, notable entablature with wide frieze and dentils, and stone base. The main entrance is located in an enclosed, flat roofed, vestibule on the south elevation. The second floor façade is defined by a paired window with notable enframing in the north bay, a small centered, single window with similar enframing, and a windowed polygonal bay with enframements in the south. Two flared gabled roof dormers accented by enframed single arched windows with leaded uppers rest on the front roof slope, one centered over each side bay. Two similar dormers set on the south roof slope. Bay to the rear of the entry vestibule on the south elevation; additional bay on the north elevation. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Large brick chimneys on both side slopes. Additional detailing includes elaborate corner pilasters, frieze and cornice with dentils, brackets, decorative molding detail, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 29 Colonial Circle is significant as a good representative example of a two-story, hipped roof, urban, residence of a high Colonial Revival style with Queen Anne influence. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-3; N-4)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 32 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1902-1903

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry- Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family dwelling at 32 Colonial Circle is set on a short trapezoidal corner lot, located on the west side of the street, on the southern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

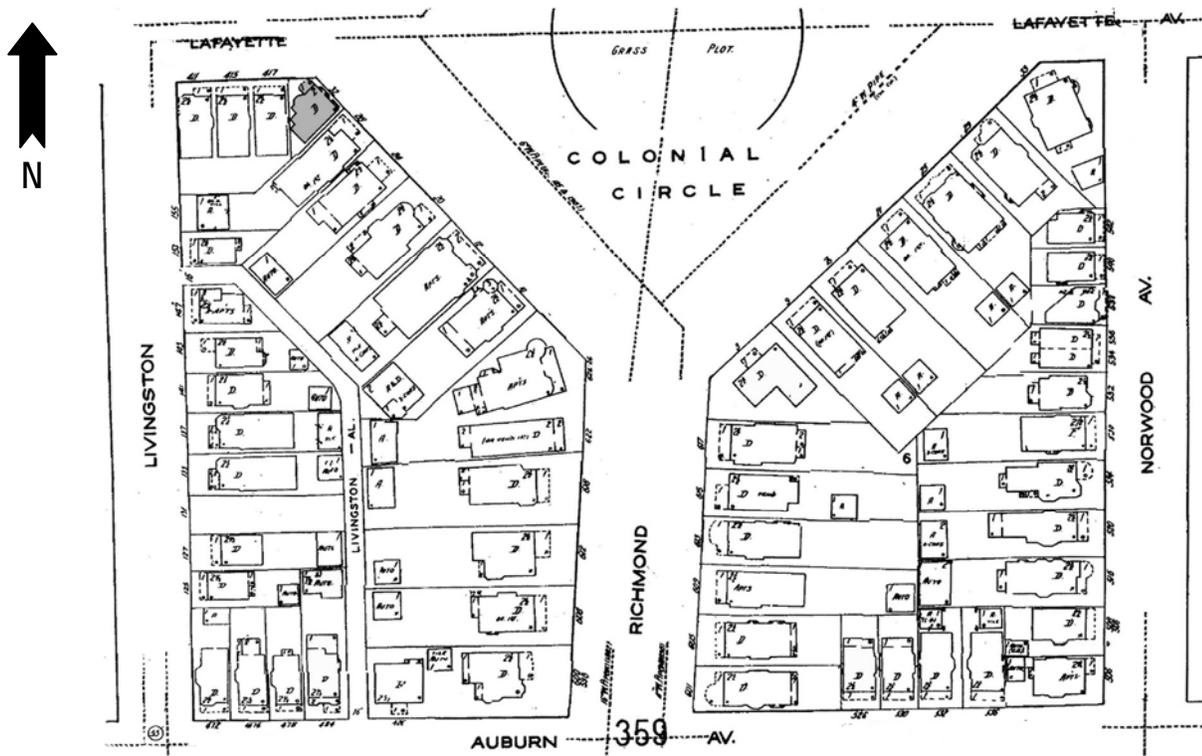
**NON-CONTRIBUTING**

A two-story, hipped roof, urban, frame residence of Colonial Revival style with Queen Anne influence.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 32 Colonial Circle is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains a majority of its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling. Built for Edwin F. A. Kurtz

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-7; N-19)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 48 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known McCreary, Wood & Bradney Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family dwelling at 48 Colonial Circle is set on a large trapezoidal corner lot, located on the west side of the street, on the northern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

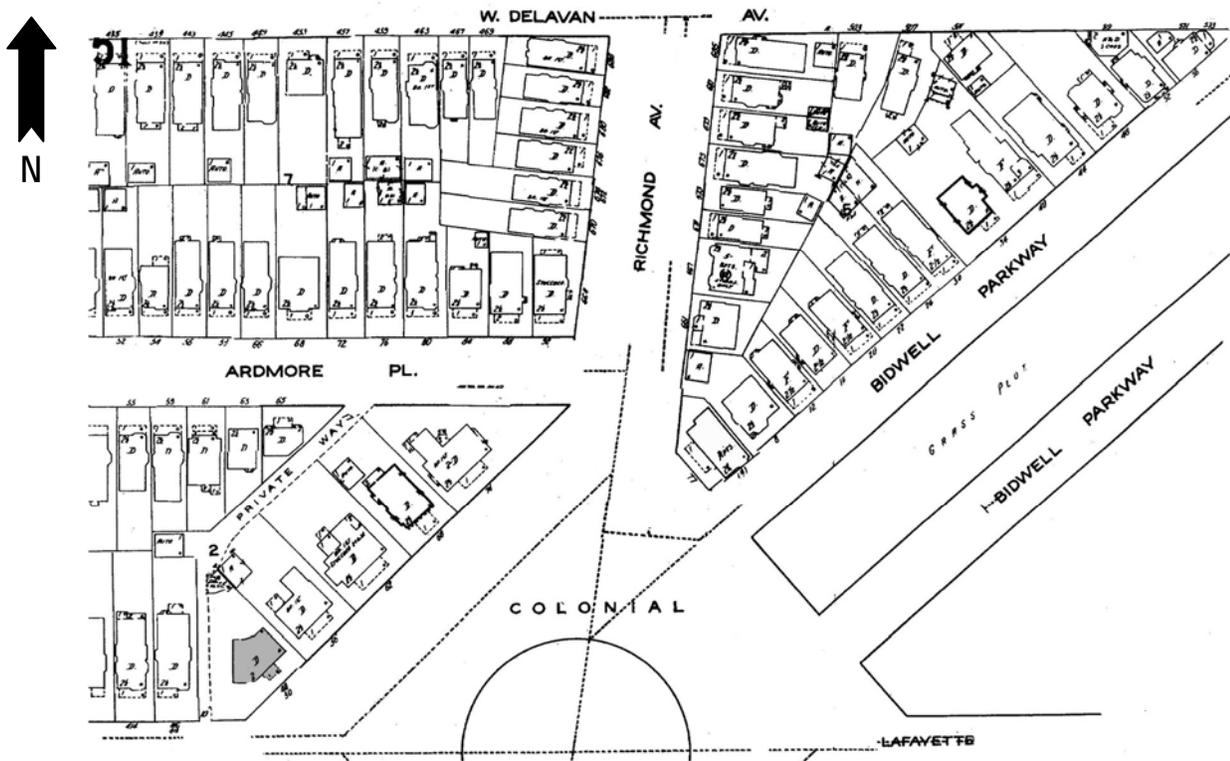
**NON-CONTRIBUTING**

A two-story, side gabled, urban, frame residence of Colonial Revival style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 48 Colonial Circle is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains a majority of its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling. Built for William McGlashen.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-7; N-20)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 56 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Frank H. Chapelle Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family dwelling at 56 Colonial Circle is set on a standard deeply set diagonal lot, located on the west side of the street, on the northern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

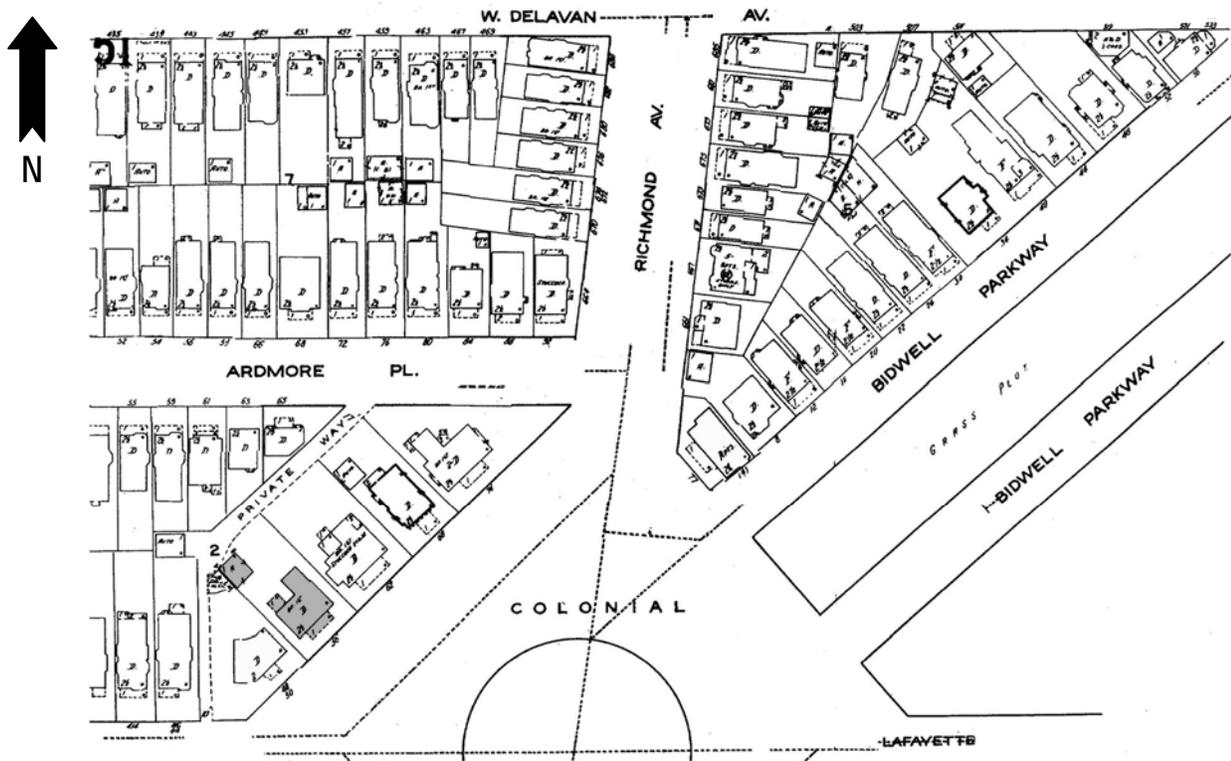
A two-and-one-half story, side gabled, urban, residence of high Colonial Revival style. It has an irregular plan with main, horizontally oriented, regular, rectangular block and rear extensions on either side. The façade has a centered, ½-width, hipped roof porch with fluted Doric columns, spindled wood rail, notable entablature with wide frieze, dentils, and lookouts, and central entry stair. The framed and sidelighted main entranceway is located centered on the façade, under the porch. A slim window sets to either side of the entrance under the porch. A single window occupies the extreme side bays of the lower façade on either side of the porch. The second floor façade is defined by simple symmetric windowing. Three pedimented dormers with single window accent rest evenly spaced on the front roof slope. Side gables punctuated by a paired window. Rear section of residence not included under the main side gable. Exterior wall fabric is brick on the lower story with wood shingle upper. Fenestration is six-over-one and one-over-one double-hung wood sash and fixed. Large brick chimneys visible at either sides of the forward slope and on the rear section. Additional detailing includes wide frieze, cornice, dentils, decorative molding, modest belt course, and framing.

A garage sets to the west on the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 56 Colonial Circle is significant as a good representative example of an architect designed two-and-one-half story, side gabled, urban, residence of high Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for high middle and upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for J. B. Wattles. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-7; N-21)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 62 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Mc Creary, Wood, & Bradney Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

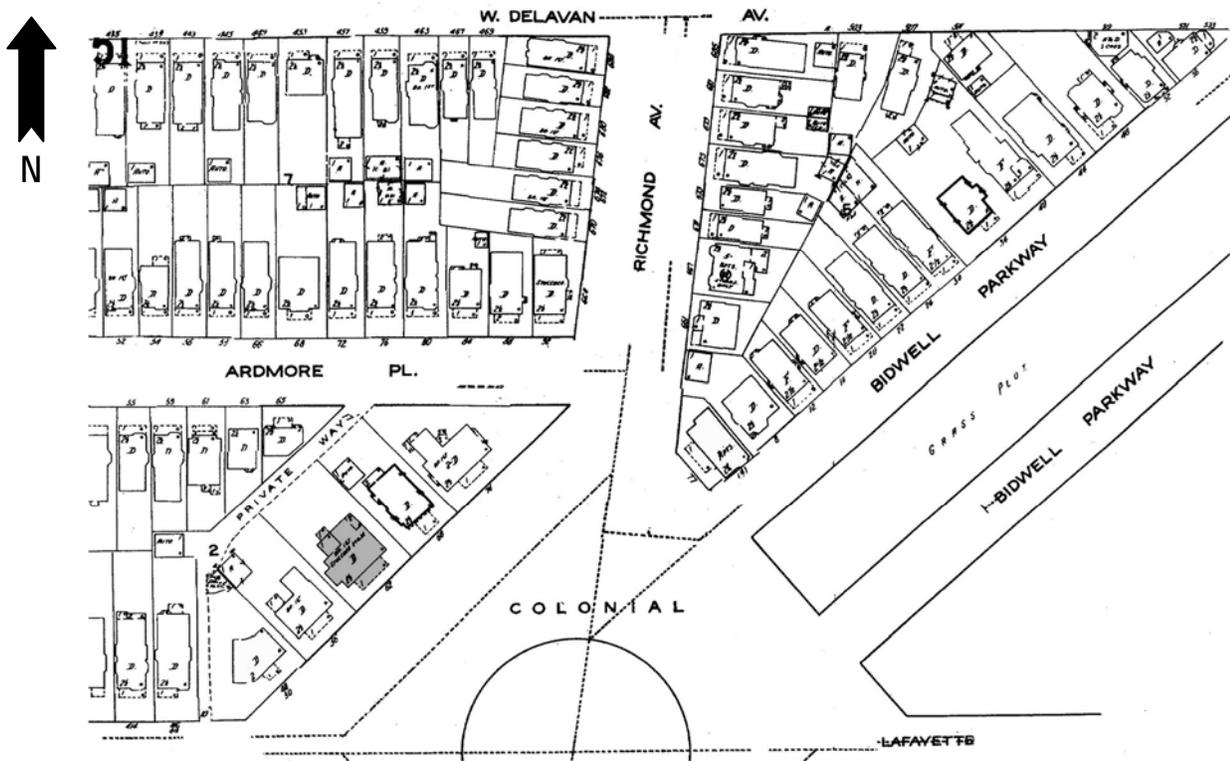
The single-family dwelling at 62 Colonial Circle is set on a standard deeply set diagonal lot, located on the west side of the street, on the northern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

A two-and-one-half story, side gabled, urban, residence of a Tudor Revival style. It has an irregular plan with main, horizontally oriented, regular, rectangular block and large rear extension. The façade has a ½-width, slightly gabled porch centered on the extended northern portion, with capiteled square column supports, modern metal rail, wide wood frieze with flattened arch cutouts, and central entry stair. The main entranceway with wide sidelighted surround is located centered on the extended façade, under the porch. A slim window sets to either side of the entrance under the porch. A single window occupies the side bays of the lower façade on either side of the porch. Full-height rectangular cut-away at the extreme south bay corner of the façade. The second floor façade is defined by simple symmetric windowing and a small centered paired window. A double gabled dormer with elongated, multi-paned, ribboned windowing accents the front roof slope. South side roof end has a double gable, each accented with a single window. Rear section of residence not included under the main side gables. Exterior wall fabric is brick on the lower story with stucco and half timbering upper. Fenestration is primarily one-over-one double-hung wood sash, fixed, and casement. Large brick chimneys visible at either sides of the forward slope. Additional detailing includes wide belt course, verge boards, exposed rafter tails, stone sills, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 62 Colonial Circle is significant as a good representative example of an architect designed two-and-one-half story, side gabled, urban, residence of a Tudor Revival style. One of several Tudor residences in the survey area. Styled urban singles of varying design, such as this, were typical housing for upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Frank J. Hutchinson. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-7; N-22)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 68 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known McCreary, Wood, & Bradney Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family dwelling at 68 Colonial Circle is set on a standard deeply set diagonal lot, located on the west side of the street, on the northern section of the circle. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

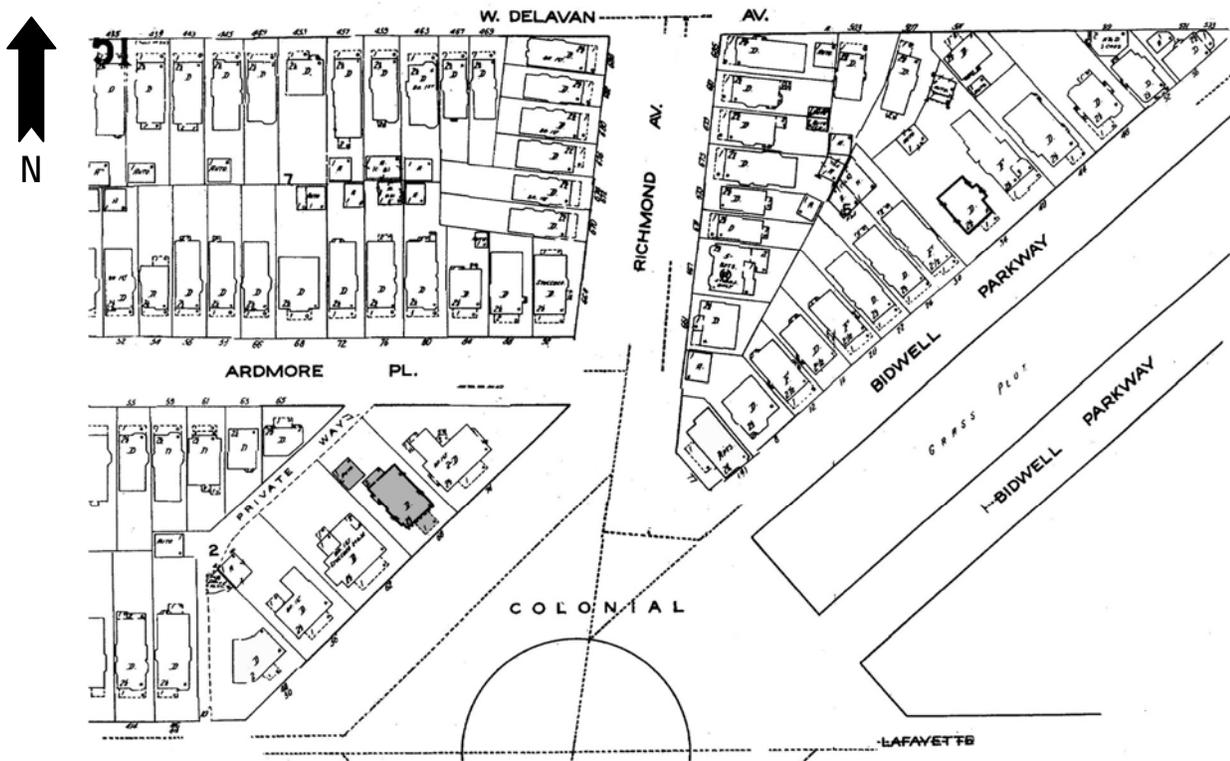
A two-and-one-half story, side gabled, urban, residence of Colonial Revival style. It has a rough shortened rectangular plan. The façade has a centered, ½-width, gabled, entry porch with paired Doric columns, metal side rail, notable entablature with decorative frieze and cornice on the sides – center is open with distinct flattened arch cutout, and central entry stair. The framed and sidelighted main entranceway in located on the façade, under the porch, just off center to the north. A slim window sets to the south of the entrance under the porch. A single, shuttered window occupies the extreme side bays of the lower façade on either side of the porch. The second floor façade is defined by simple symmetric windowing with shutters. Two gabled dormers with single window accent rest on the front roof slope, centered over either side bay. Full height, gabled, rectangular bay extension nested under and within the main south side gable. Lower story rectangular bay with small hipped roof visible on the south elevation. Rear section of residence not included under the main side gable. Exterior wall fabric is brick with wood clapboard. Fenestration is six-over-one and one-over-one double-hung wood sash and fixed. Large exterior brick chimney bisects the south side gable bay, with symmetric windowing on either side. Additional detailing includes wide frieze, cornice, dentils, decorative molding, modest belt course, and framing.

A garage sets on the rear of the lot, to the west.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 68 Colonial Circle is significant as a good representative example of an architect designed two-and-one-half story, side gabled, urban, residence of Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Ray Davis. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-7; N-23)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 74 Colonial Circle

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known McCreary, Wood, & Bradney Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other : stucco and half timbering

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

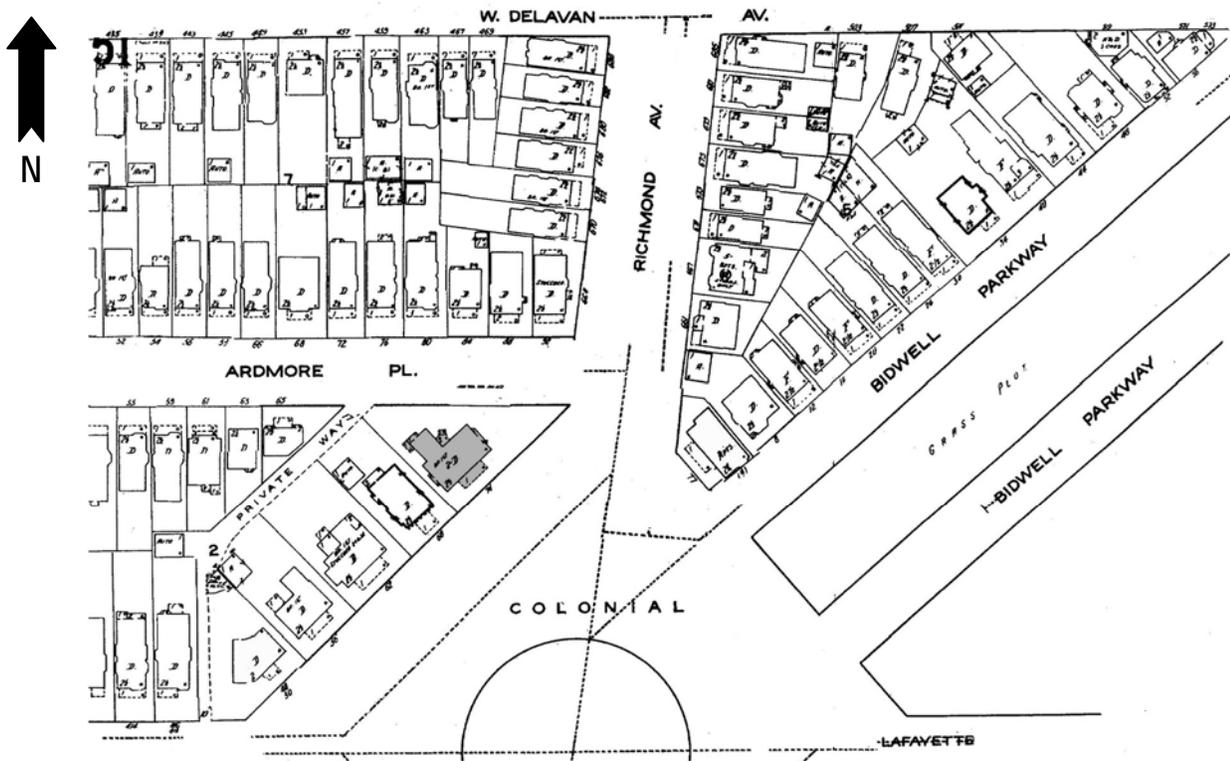
The single-family dwelling at 74 Colonial Circle is set on a large triangular corner lot, located on the west side of the street, on the northern section of the circle, at the intersection of Ardmore Place. Colonial Circle is a small, circular, residential street that rounds the intersection of Richmond Avenue and Lafayette Avenue. It is a component of Olmsted and Vaux's original parkway system. Once one of the most prestigious addresses in the survey area, and indeed among the most prominent in the city, the property is located in an upscale residential area of the east central section of the Grant-Ferry-Forest neighborhood. A part of the Richmond Avenue-Ashland Avenue Historic District.

A two-and-one-half story, cross gabled, urban, residence of Tudor Revival styling. It has an irregular plan, though roughly elled plan, with main, horizontally oriented, regular, rectangular block and western rear extension with smaller additions. The façade has a centered, 1/2-width, shed roof porch with large Tuscan columns, and a railed central entry stair. Area beneath the porch slightly recessed with French doors to the south and additional entranceways to the north and on the northern side wall of the niche. Large, multi-paned, quartet window groupings occupy the side bays of the lower façade on either side of the porch. The second floor façade is defined by simple symmetric windowing. Two gabled dormers with triple window accent set evenly spaced on the north front slope. A larger front cross gable occupies the far southern section of the front slope, matching the spacing of the dormers. Side gabled rear block on the south; first story, flat roofed, rectangular bay visible. Exterior wall fabric is brick on the lower story with stucco and half timbering upper. Fenestration is one-over-one, six-over-one, and six-over-six double-hung wood sash, fixed, and casement. Large exterior brick chimney with cap visible at the south side of the forward slope; additional chimney visible near the crest on the western portion of the front slope. Additional detailing includes wide belt course, verge boards, exposed rafter tails, stone sills, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 74 Colonial Circle is significant as a good representative example of an architect designed two-and-one-half story, cross gabled, urban, residence of Tudor Revival styling. One of several Tudor residences in the survey area. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Ralph Connable. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-7; N-24)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 103 Congress Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

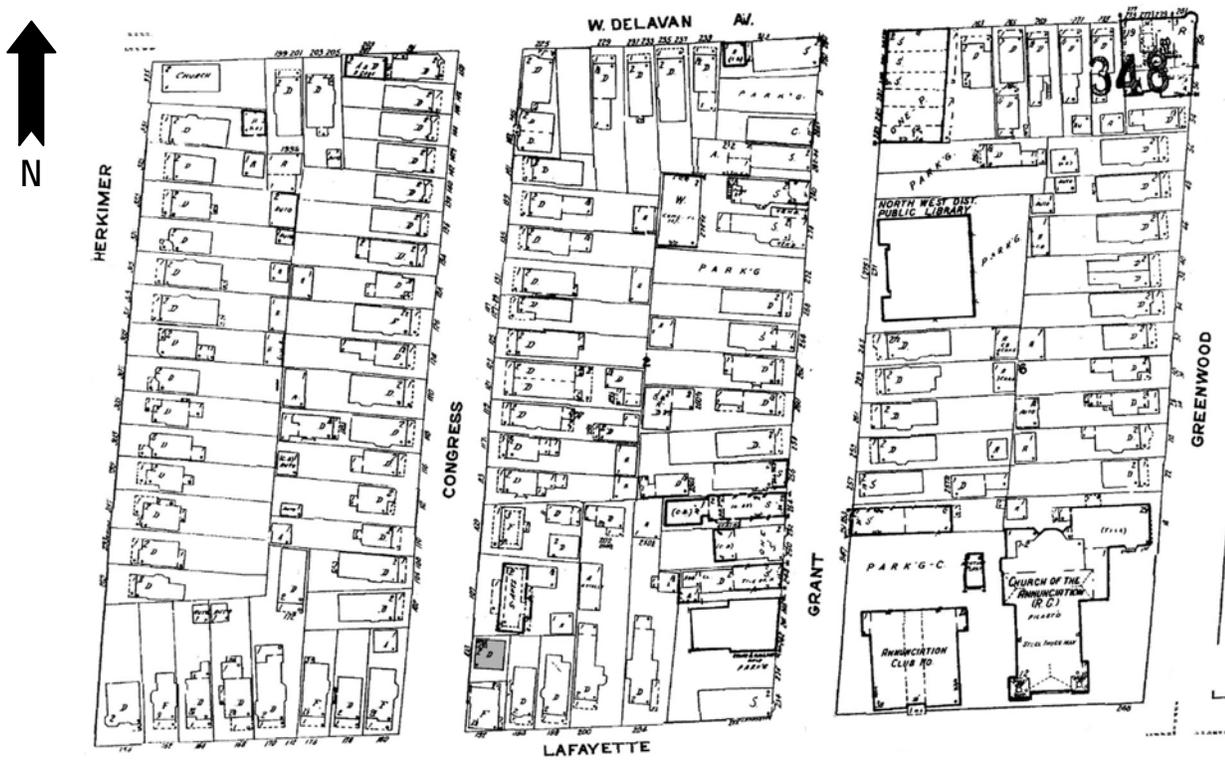
The single-family house at 103 Congress Street is set on a short square lot, located on the east side of the street, on the block between Lafayette Avenue and West Delavan Avenue. Congress Street is a medium, north-south, residential street that runs between Auchinvole Street and Potomac Avenue. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-story, cross gable, urban, frame, vernacular, Victorian residence with mixed design influences and Italianate detailing. It has a square plan with a square corner tower fit seamlessly into the ell of the cross gables. The foundation is stone. First floor of the tower-enclosed ell is open. Small, ¼-width entry porch with Doric columns and metal rail within the open lower ell. The main entrance is located within the ell as well. The façade is distinguished by tiered symmetric windows with ornate pedimented enframements. Exterior wall fabric is wood clapboard with fish scale wood shingle in the pent enclosed front gable end. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes small corner boards, frieze, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 103 Congress Street is significant as a good representative example of a two-story, cross gable, urban, frame, vernacular, Victorian residence with mixed design influences and Italianate detailing. A very unusual combined incarnation of Italianate style on a high Victorian folk dwelling.

MAP: Sanborn Map (Revised 1986) – Plate 348



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-2)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 118 Congress Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 118 Congress Street is set on a standard slightly diagonal lot, located on the west side of the street, on the block between Lafayette Avenue and West Delavan Avenue. Congress Street is a medium, north-south, residential street that runs between Auchinvole Street and Potomac Avenue. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

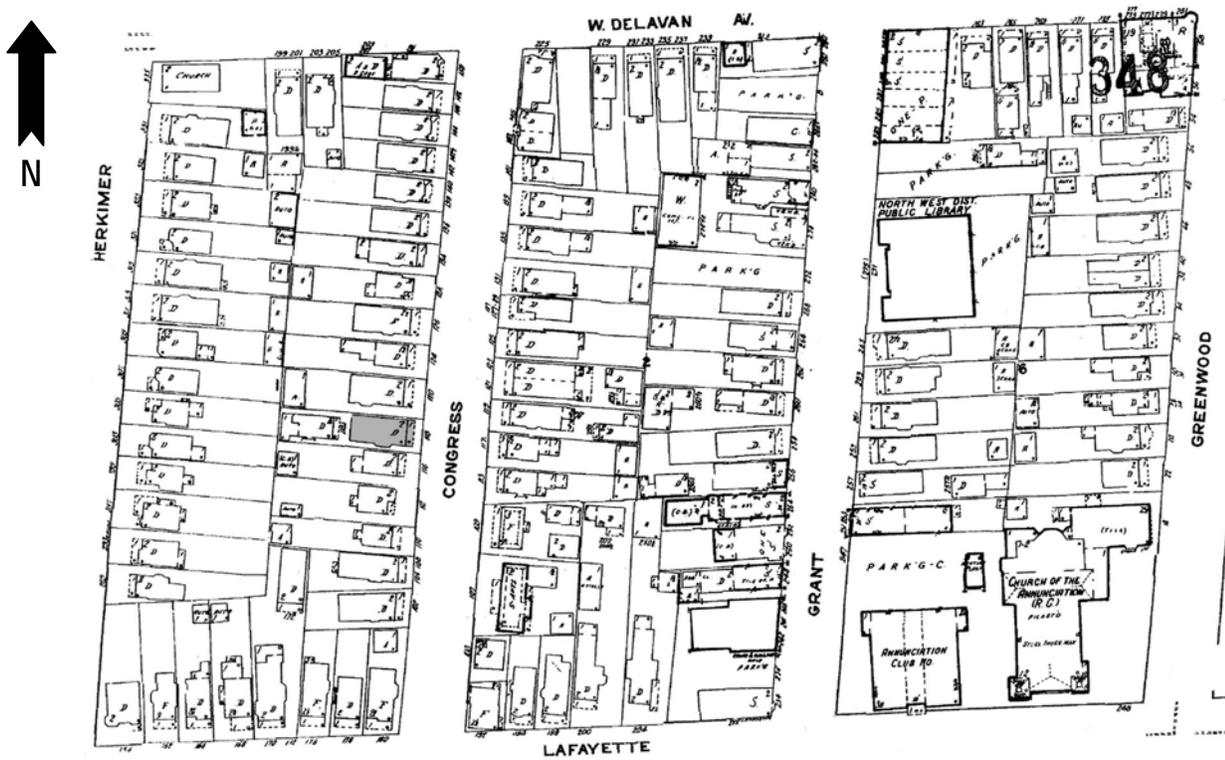
A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with modest fluted Ionic columns, spindled wood rail, modest frieze and cornice, and a large entry stair in the north bay. The sidelighted and modestly enframed main entrance is located in the north bay of the façade. A triple window grouping occupies the south bay. The second floor façade has an open porch with modern metal rail, a porch entrance in the north bay, and a polygonal oriel in the south flush beneath the slightly projecting, pent enclosed front gable end. A two-story polygonal bay is visible on the south elevation beneath a slightly projecting side cross gable. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A triple window grouping punctuates the front gable end. Additional detailing includes corner pilasters, modest frieze, cornice trim, framing, and lookout rafters.

A back house occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 118 Congress Street is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Modestly styled doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for Hattie P. Gaslott.

MAP: Sanborn Map (Revised 1986) – Plate 348



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-3)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 144 Congress Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1894

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

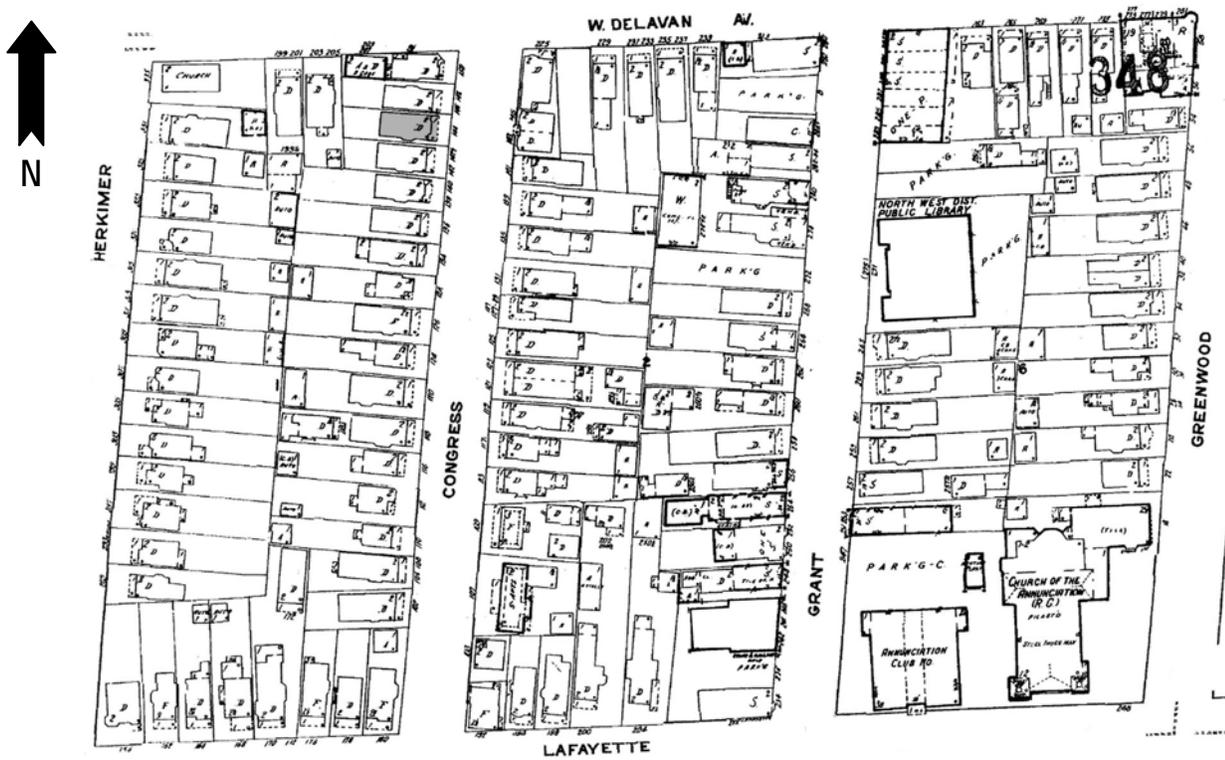
The two-family house at 144 Congress Street is set on a shortened slightly diagonal lot, located on the west side of the street, at the north end of the block between Lafayette Avenue and West Delavan Avenue. Congress Street is a medium, north-south, residential street that runs between Auchinvole Street and Potomac Avenue. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, hipped and lower cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan, though of more squat proportions than many. The façade has a full-width porch with ¾-height turned wood posts set on solid clapboard rail that extends over the foundation, modest frieze, hipped overhangs, and central entry stair. A main entrance is located in the extreme north bay of the façade. An additional main entrance is located in the extreme south bay. Three large windows occupy the central section of the lower façade. The second floor façade has an open porch with modern metal rail, a porch entrance in the far north bay, and a polygonal oriel located centrally beneath the slightly projecting, pent enclosed, lower front gable. Small front gable point punctuates the central ridge. A two-story polygonal bay is visible on the south elevation beneath the slightly projecting lower cross gable. Exterior wall fabric is wood clapboard with decorative wood shingle in the gable ends. Fenestration is one-over-one double-hung wood sash and fixed. Small windows punctuate the lower gable peaks. Additional detailing includes modest corner boards, frieze, trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 144 Congress Street is significant as a good representative example of a two-and-one-half story, hipped and lower cross gabled, urban, frame residence with Queen Anne styling. More designed than some, modestly styled doubles and duplexes of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for John Mitchell.

MAP: Sanborn Map (Revised 1986) – Plate 348



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-4)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 148 Congress Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1894

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: asphalt shingle

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

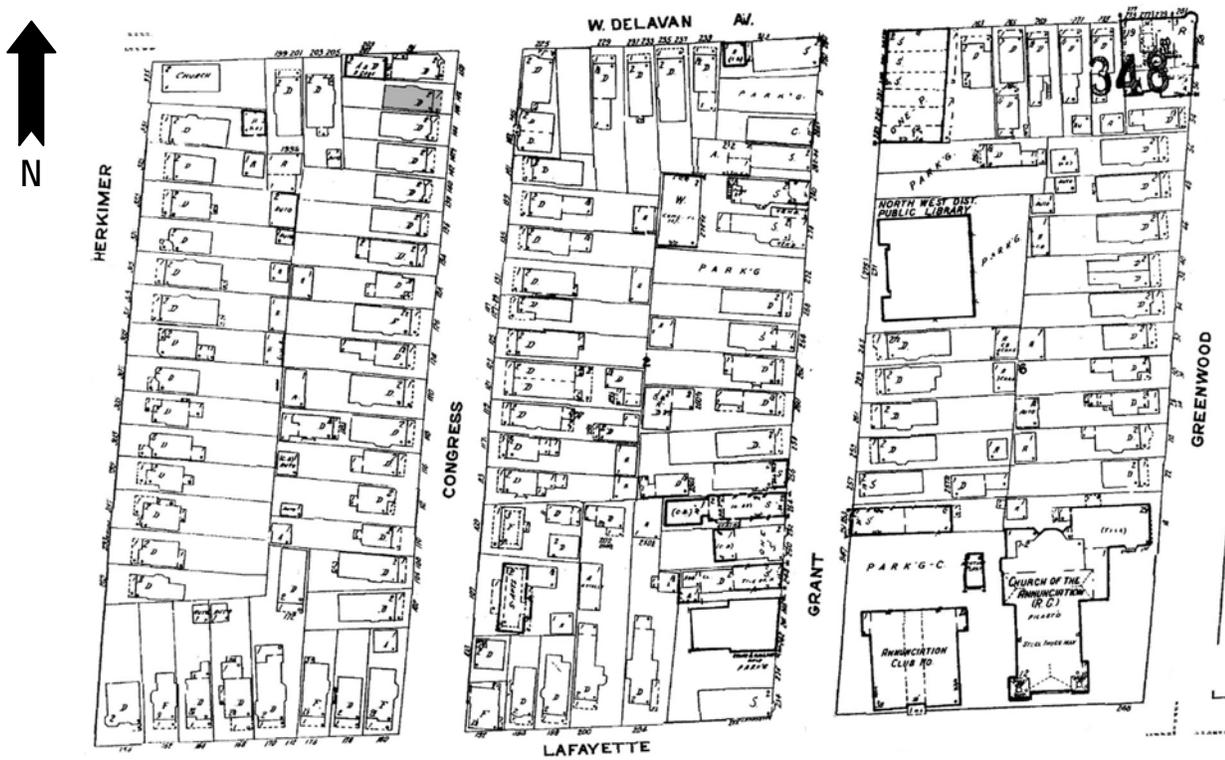
The two-family house at 148 Congress Street is set on a shortened slightly diagonal lot, located on the west side of the street, at the north end of the block between Lafayette Avenue and West Delavan Avenue. Congress Street is a medium, north-south, residential street that runs between Auchinvole Street and Potomac Avenue. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with ¾-height slender Tuscan columns set on solid wood rail that extends to the ground, small frieze, and scrollwork pediments over the entry stairs in the extremes of the both bays. A main entrance is located in the extreme north bay of the façade. An additional main entrance is located in the extreme south bay. A large single window occupies the central section of the lower façade. A double window grouping punctuates the pent enclosed front gable. A two-story polygonal bay is visible on the north elevation beneath a slightly protruding gabled wall dormer. Exterior wall fabric is wood clapboard with patterned asphalt shingle in the gable end and on the dormer. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney visible on the rear slope of the dormer. Additional detailing includes modest corner boards, frieze, cornice trim, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 148 Congress Street is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne styling. Modestly styled doubles and duplexes of Queen Anne influence, such as this, were common housing for lower to middle class families in the early twentieth century on the West Side. Built for Edith May Sparling.

MAP: Sanborn Map (Revised 1986) – Plate 348



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-5)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 204 Congress Street  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 204 Congress Street is set on a standard slightly diagonal lot, located on the west side of the street, on the block between West Delavan Avenue and Potomac Avenue. Congress Street is a medium, north-south, residential street that runs between Auchinvole Street and Potomac Avenue. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

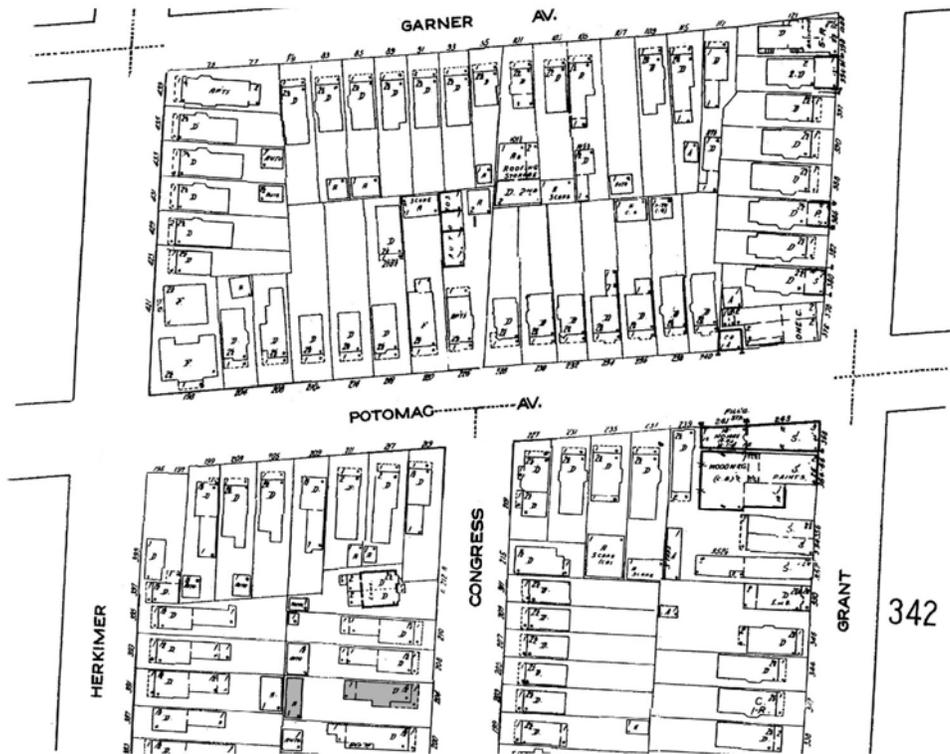
A two-story, cross gabled, urban, frame, vernacular Victorian folk residence with reserved detailing. It has a slight T plan with elled main block and narrowed one-story rear section. The façade has a full-width, hipped roof porch that wraps into the forward ell of the south elevation, with wood posts, solid clapboard rail, and ½-width pediment over the south bay of the façade. The main entrance is located under in the porch in the ell. Symmetric tiered windowing distinguishes the façade; second story windows sport ornamented enframements with brackets and hoods. Exterior wall fabric is wood clapboard; decorative wood shingle in the pediment over the porch. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the ridge of the side cross gable. Additional detailing includes modest corner boards and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 204 Congress Street is significant as a good representative example of a two-story, cross gabled, urban, frame, vernacular Victorian folk residence with reserved detailing. Such simple folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-6)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 212 Congress Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1860

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input checked="" type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 212 Congress Street is set on a irregular lot, located on the west side of the street, on the block between West Delavan Avenue and Potomac Avenue, near the north end of the street. Congress Street is a medium, north-south, residential street that runs between Auchinvole Street and Potomac Avenue. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

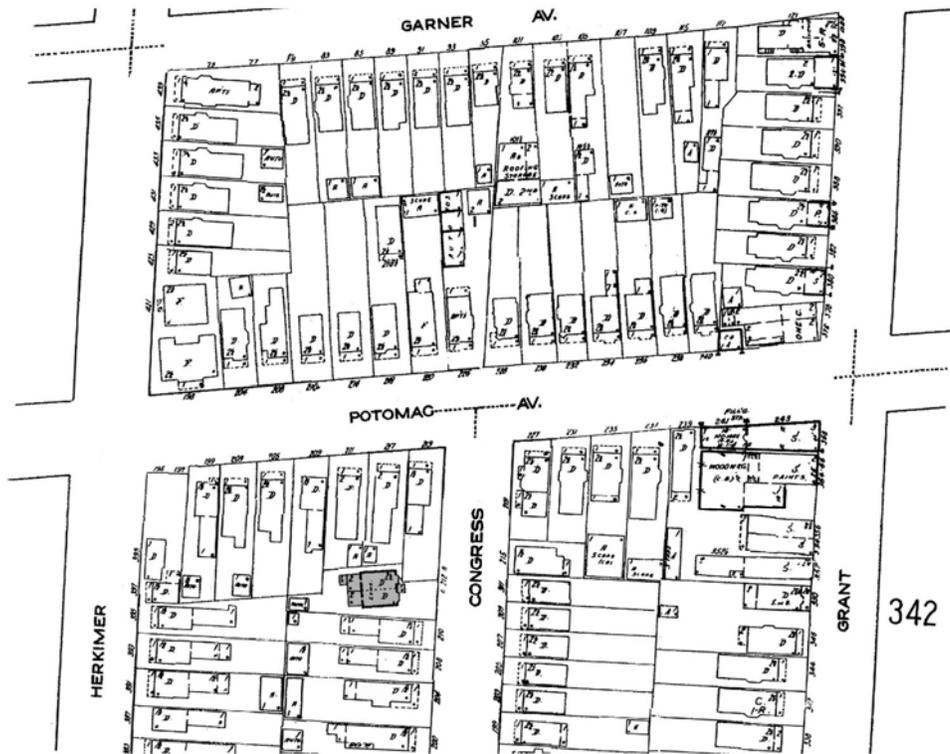
A two-story, hipped roof, vernacular, frame, residence with modest Stick influenced styling. It has a somewhat T shaped plan with squared main block and rear extension. No visible foundation. The façade has a ¾-width, centered, added, open entry deck with wood rail and lattice and a small stair at the forward south corner. The main entrance is located in the center of the façade, framed by large shutters. The façade is dominated by a pair of gabled, two-story, projecting, rectangular bays, once centered in either side bay of the façade. Each projection is accented with a stacked set of paired windows spaced by stick work and decorative wood shingle in the pent enclosed gable end. Exterior wall fabrics are clapboard, vertical board, and wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney centered on the forward slope.

A small garage occupies the rear south corner niche of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 212 Congress Street is significant as an example of a two-story, hipped roof, vernacular, frame, residence with modest Stick influenced styling. At an odd angle to Congress St., it fronted on Potomac Ave., with which it is aligned, and appears to be a former farmhouse, now heavily modified. This farm was owned in 1862 by Silas Hemenway, a farmer and former proprietor of the Black Rock omnibus line. The house received an addition in 1901. One of the oldest structures in the survey area.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-8)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 215 Congress Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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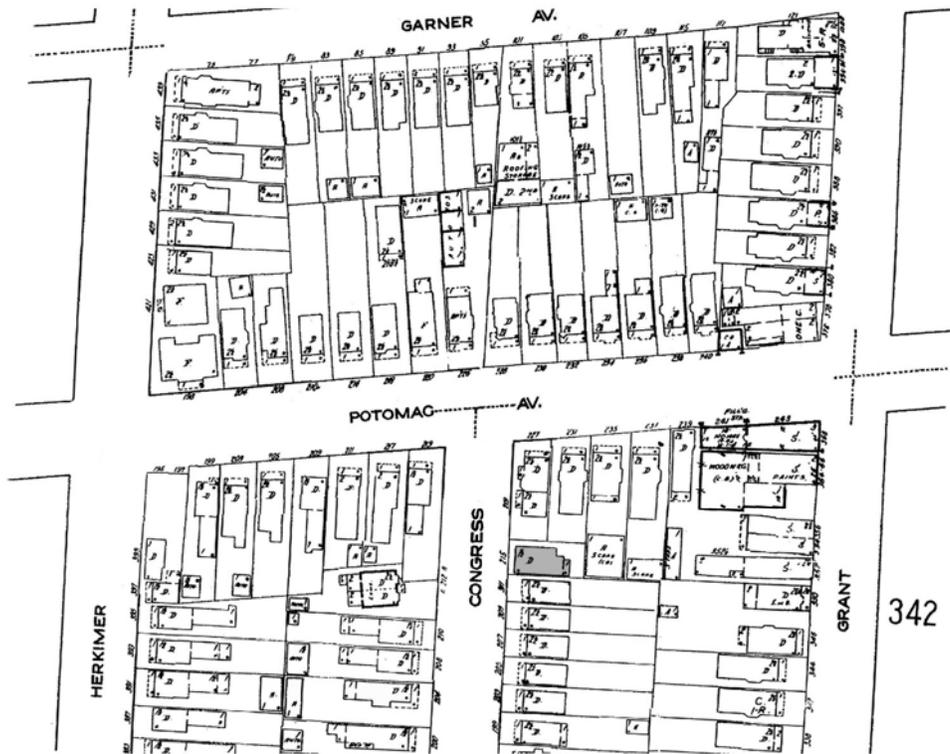
The single-family house at 215 Congress Street is set on a short slightly diagonal lot, located on the east side of the street, on the block between West Delavan Avenue and Potomac Avenue, near the north end of the street. Congress Street is a medium, north-south, residential street that runs between Auchinvole Street and Potomac Avenue. The property is located in a residential area of the central section of the Grant-Ferry-Forest neighborhood.

A two story, side gabled, urban, frame residence of mixed Tudor revival influences. It has a roughly rectangular plan and is set on a stone and concrete foundation. Tall and steeply pitched, the side gabled roof extends down over the upper story. The main entrance with sidelight and transom surround is located in the north bay of the façade with a small entry stair. The south bay of the façade is occupied by a slight rectangular bay punctuated by a large triple window group. A steeply gabled dormer accents the south section of the front roof slope. Multiple second-story windows punctuate the side gable ends. Exterior wall fabrics are wood shingle on the first-story with clapboard on the upper story gable ends and the dormer. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes small corner boards, modest frieze and cornice, trim, and wide brackets.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 215 Congress Street is significant as a good representative example of a two story, side gabled, urban, frame residence of mixed Tudor revival influences. Mixed Tudor design and style characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-7)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 62 Dart Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 62 Dart Street is set on a trapezoidal lot, located on the west side of the street, toward its north end. Dart Street is a medium-sized, north-south, residential street that runs through the far north west section of the neighborhood, beginning at Forest Avenue. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest neighborhood.

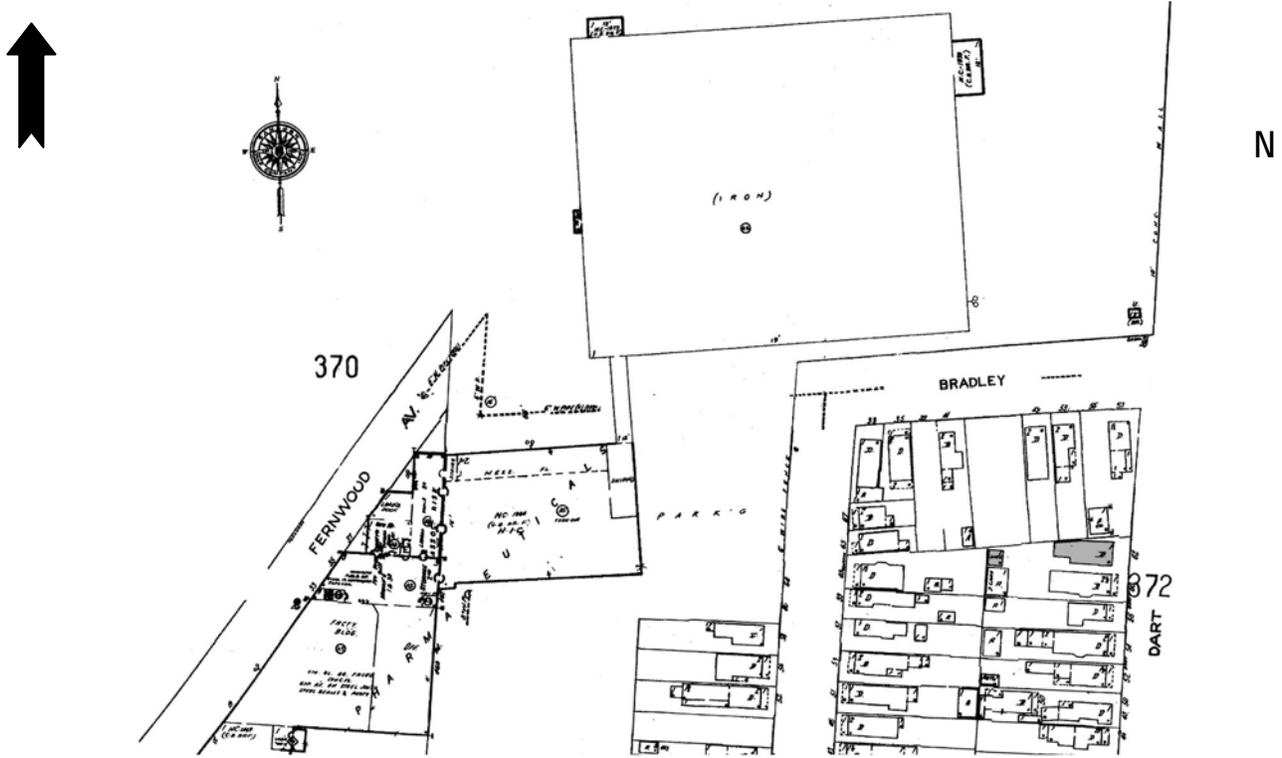
A one-and-one-half story, front gabled, urban, vernacular workers' cottage residence with mixed influences and modest detailing. It has a slight ell plan with squared main block and narrowed rear extension. The foundation is stone. The façade has a full-width, pedimented porch with square elephantine columns, solid wood rail, and flat frieze and cornice. The framed main entrance is located in the north bay. Two evenly spaced windows with matching frames occupy the remained of the façade. The upper façade is distinguished by a centered paired window. Shed roofed dormer visible on the north slope. Exterior wall fabric is wood clapboard with shingle on the porch pediment and rail. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes small corner boards, and trim.

Small garage at the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 62 Dart Street is significant as a good representative example of a one-and-one-half story, front gabled, urban, vernacular workers' cottage residence with mixed influences and modest detailing. Such vernacular folk structures often embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 371



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-23)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 7 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

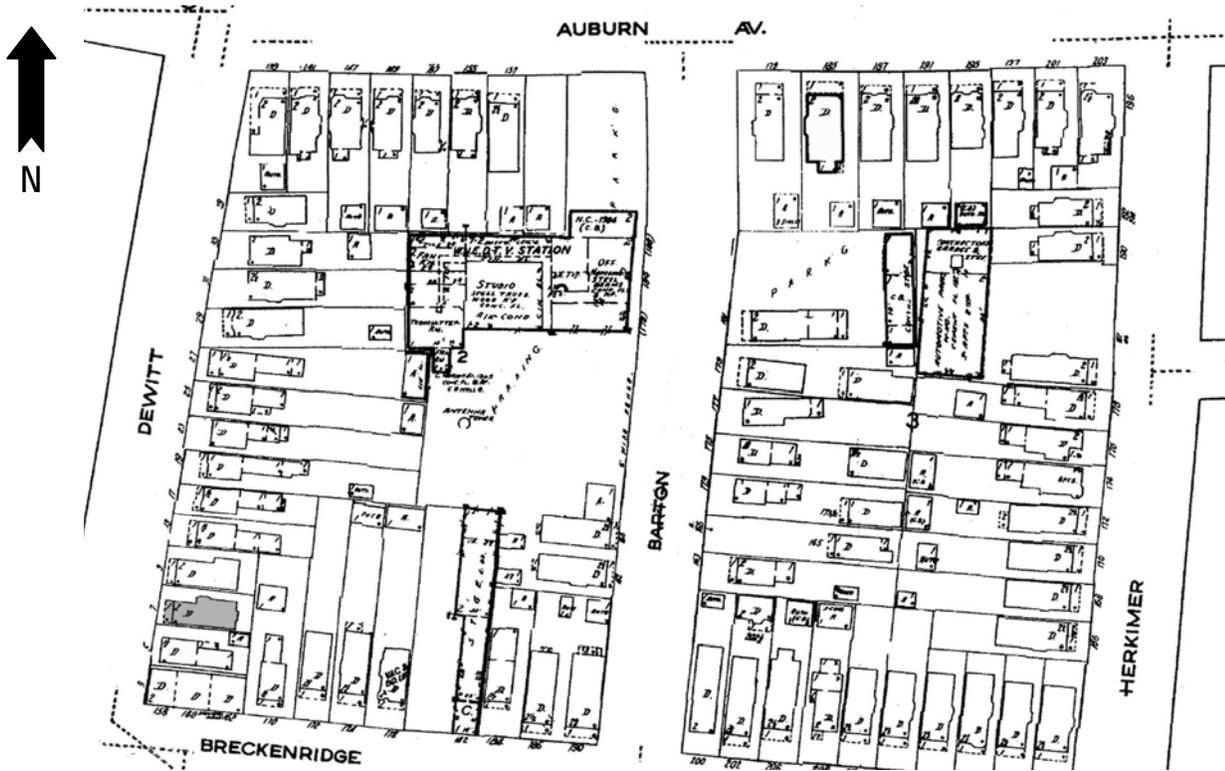
The two-family house at 7 Dewitt Street is set on a shortened lot, located on the east side of the street, at the south end of the street on the block between Breckenridge Street and Auburn Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne styling. It has a slight ell plan and is set on a stone foundation. The façade has a full-width porch with wood post supports, open wood rail, lattice over the base, and an entry stair in the south. The main entrance is located in the south bay of the façade. A large paired window occupies the north bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the south bay over the entrance, and a polygonal oriel in the north flush beneath the slightly projecting front gable end. A shuttered window accents the main pent enclosed front gable end. Second floor gable punctuates the roofline at the forward valley on the north slope. A two-story projecting, polygonal bay is visible on the west elevation beneath the projecting side cross gable. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest corner boards, frieze and cornice trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 7 Dewitt Street is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of Queen Anne styling. This house received an addition in 1905. More styled than most, urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-31)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 13 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

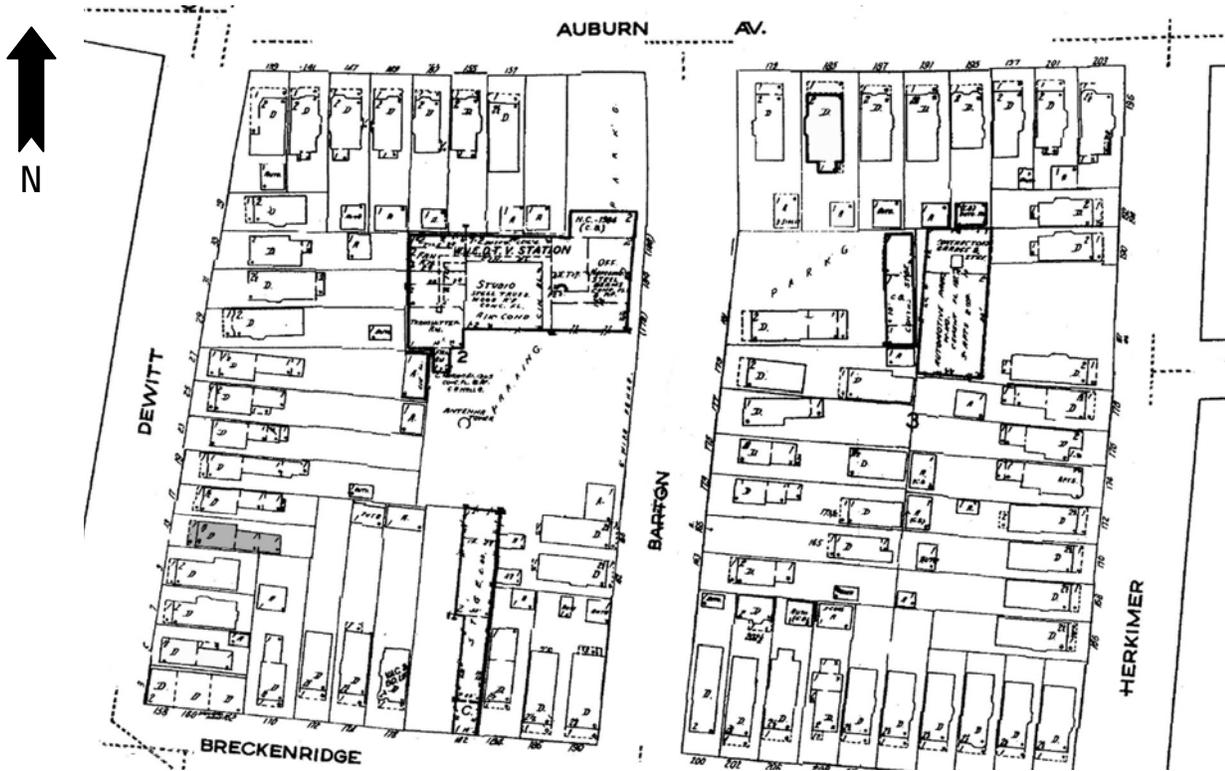
The single-family house at 13 Dewitt Street is set on a shortened lot, located on the east side of the street, at the south end of the street on the block between Breckenridge Street and Auburn Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, vernacular Victorian, urban frame residence with modest detailing of a mixed Italianate style. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width, hipped roofed porch with square column supports and solid wood rail, flat frieze, and an entry stair to the south. The modestly enframed double main entrance doors are located in the south bay. Two evenly spaced windows with matching enframements occupy the remained of the façade. The upper façade is distinguished by two more elaborately enframed windows. Exterior wall fabric is clapboard with decorative wood shingle in the gable peak. Fenestration is one-over-one double-hung wood sash and fixed. Shed wall dormer visible on the south roof slope. Additional detailing includes modest corner boards and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 13 Dewitt Street is significant as a good representative example of a two-story, front-gabled, vernacular Victorian, urban frame residence with modest detailing of a mixed Italianate style. Urban vernacular structures of varying period influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-32)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 24 Dewitt Street  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1927

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 24 Dewitt Street is set on a standard lot, located on the west side of the street, at the south end of the street on the block between Breckenridge Street and Auburn Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

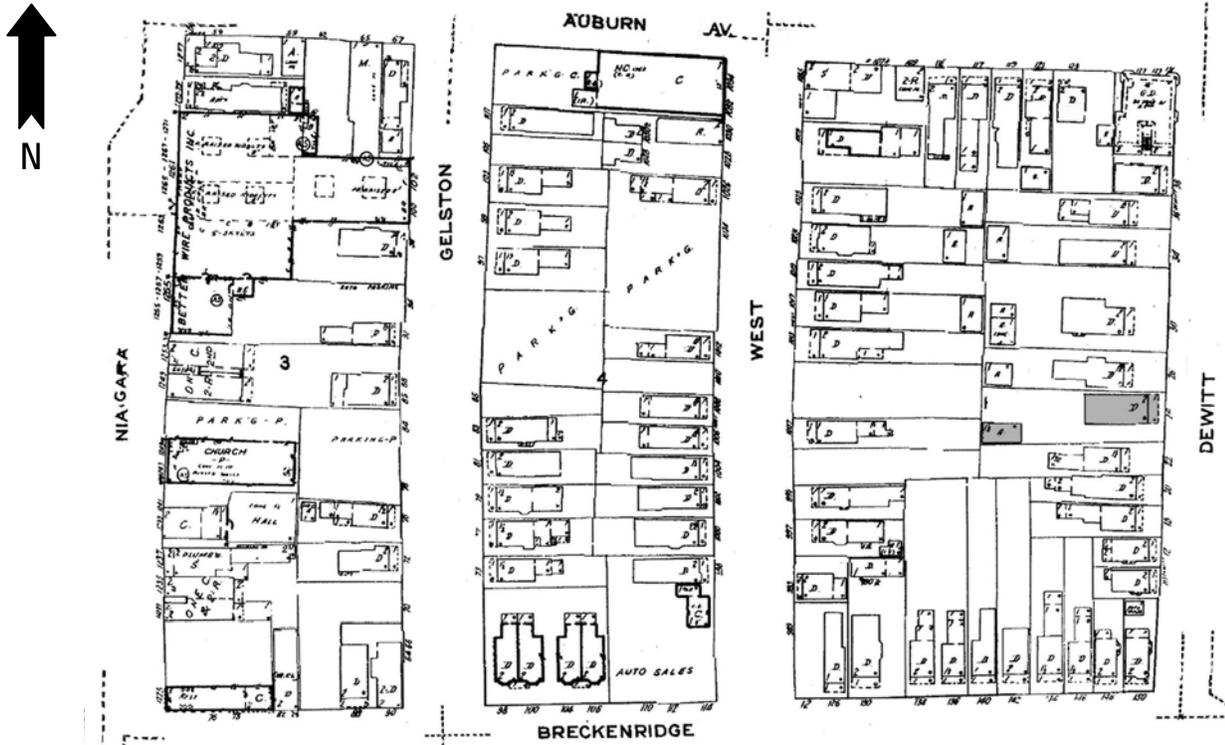
A two-and-one-half story, hipped roof, urban, vernacular, frame residence with mixed period influences. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with modern metal rail and supports and flat frieze. The main entrance is located in the north bay of the façade under the porch within a ¼-width enclosed rectangular vestibule. A large triple window group occupies the south bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the north bay, and a large triple window group in the south over the lower window. Hipped dormer with window grouping rests on the front slope extending from the main roof crest. Exterior wall fabrics are clapboard and wood shingle. Fenestration is one-over-one double-hung wood sash and fixed, with multiple paired windows. Brick chimney just off the ridge on the south slope. Additional detailing includes modest frieze and trim.

A garage occupies the rear south corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 24 Dewitt Street is significant as a good representative example of a two-and-one-half story, hipped roof, urban, vernacular, frame residence with mixed period influences. Built for Rose Abate. Urban vernacular structures and modestly styled doubles of varying period influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 354



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-33)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 70 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 70 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

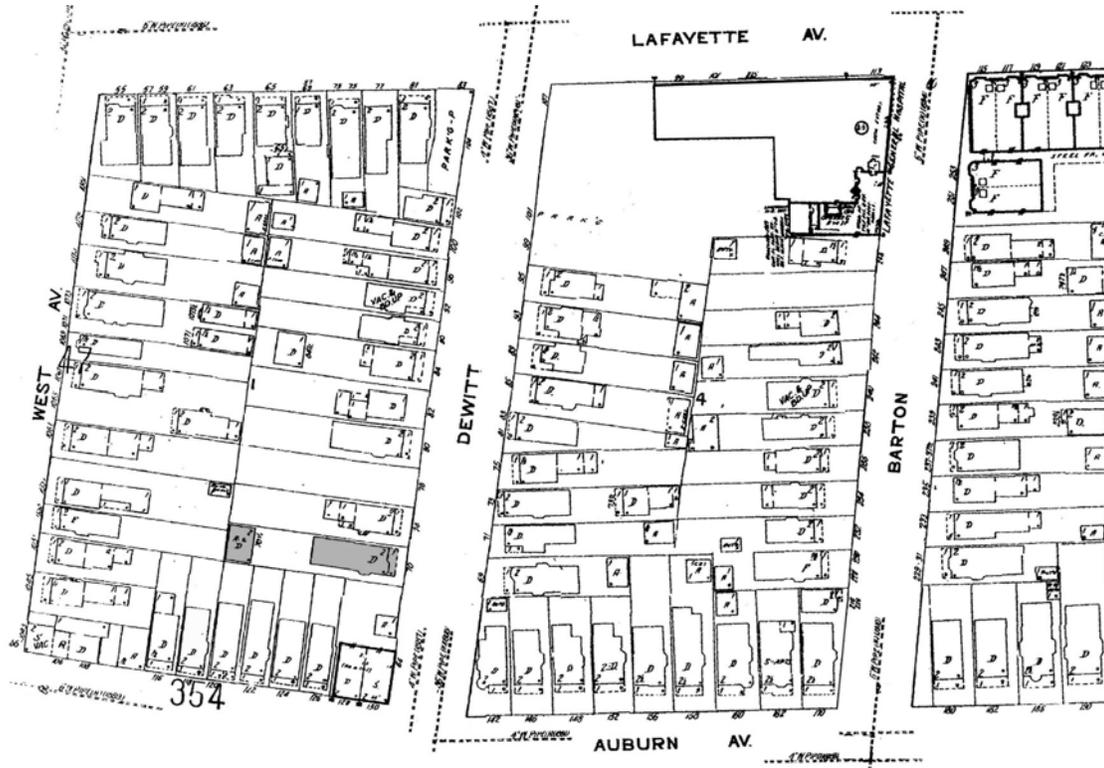
A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone and concrete block foundation. The façade has a full-width, flat roofed porch with trimmed wood post supports, spindled wood rail, small frieze, and entry stair in the north. The main entrance is located in the north bay of the facade. Two evenly spaced windows occupy the remainder of the lower façade. The second floor façade has a remaining porch entrance in the north over the main entrance and polygonal oriel in the south bay. A two-story polygonal bay is visible on the south elevation beneath the slightly protruding small side cross gable. Exterior wall fabric is clapboard with decorative wood shingle in the front gable end. Fenestration is one-over-one double-hung wood sash and fixed. A triple window group punctuates the pent enclosed front gable end. Brick chimney visible on the rear slope of the cross gable. Additional detailing includes small corner boards, frieze, trim, and brackets.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 70 Dewitt Street is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1886) – Plate 347



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-34)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 84 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known George W. Gies, bldr. Date of construction, if known 1916

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 84 Dewitt Street is set on a wide lot, located on the west side of the street, on the block between Auburn Avenue and Lafayette Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

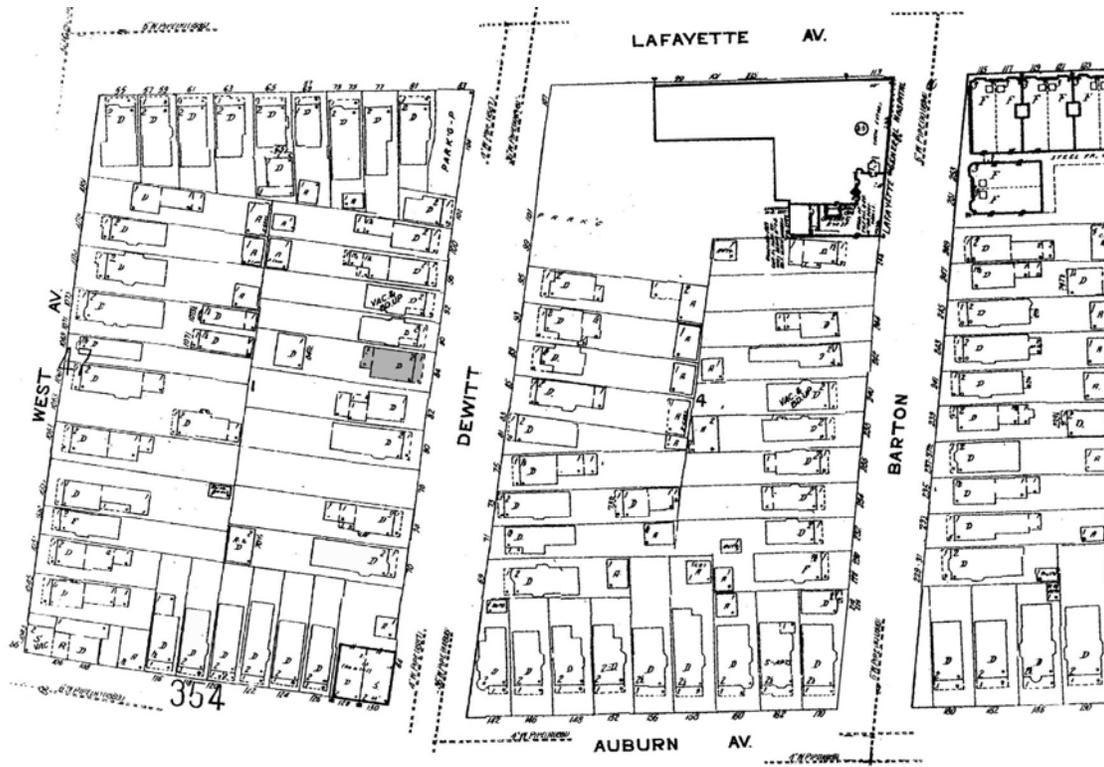
A two-story, front gabled, urban, residence with subtle mixed styling and detail. It has a rough squared plan and is set on a brick foundation. The façade has a full-width, flat roofed porch with solid wood rail and large brick piers ornamented with centered arched openings and patterned stone detailing. The main entrance is located off center to the south with a wide entry stair on the south porch elevation. A large triple window group occupies the north bay of the façade. The second floor façade has paired window groups in both side bays. A smaller paired window punctuates the gable peak. Secondary entrance visible on the south elevation. Exterior wall fabric is stucco. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney visible on the south slope. Additional detailing includes modest verge boards and trim.

A back house occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 84 Dewitt Street is significant as a good representative example of a two-story, front gabled, urban, residence with subtle mixed styling and detail. Notable brick porch piers with centered arched openings and patterned stone detailing. Built by and for George W. Gies. Urban vernacular structures and modestly styled doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1886) – Plate 347



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-35)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 93 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1890

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 93 Dewitt Street is set on a standard slightly diagonal lot, located on the east side of the street, on the block between Auburn Avenue and Lafayette Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

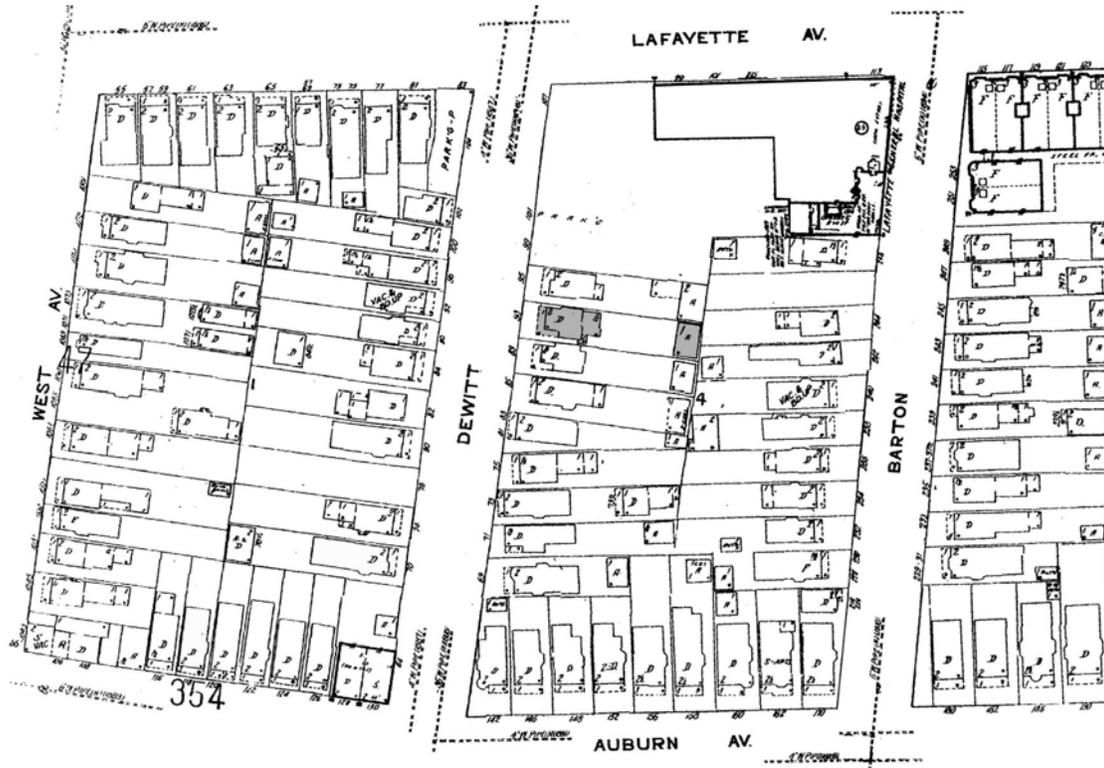
A two-story, cross gabled, urban, frame, vernacular Victorian folk house. It has a slightly irregular plan with main elled block and rear extension. The façade has a full-width, hipped roof porch with wood post supports, open wood rail, and latticed base that wraps to the south into the main ell. Front gable roofline extends on the south side into the ell, over the porch. The main entrance is located on the façade of the south wing under the porch with an entry stair in the south bay. Fenestration is simple, with one-over-one double-hung wood sash and fixed windows. A small window accents the side gable peak. Exterior wall fabric is clapboard with wood shingle. Additional detailing includes modest corner boards, framing, trim, and raked molding.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 93 Dewitt Street is significant as a good representative example of a two-story, cross gabled, urban, frame, vernacular Victorian folk house. Such vernacular folk structures often embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood. One of four houses built on this block for Charles J. Close in 1890.

MAP: Sanborn Map (Revised 1886) – Plate 347



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-36)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 202 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 202 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between West Delavan Avenue and Potomac Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

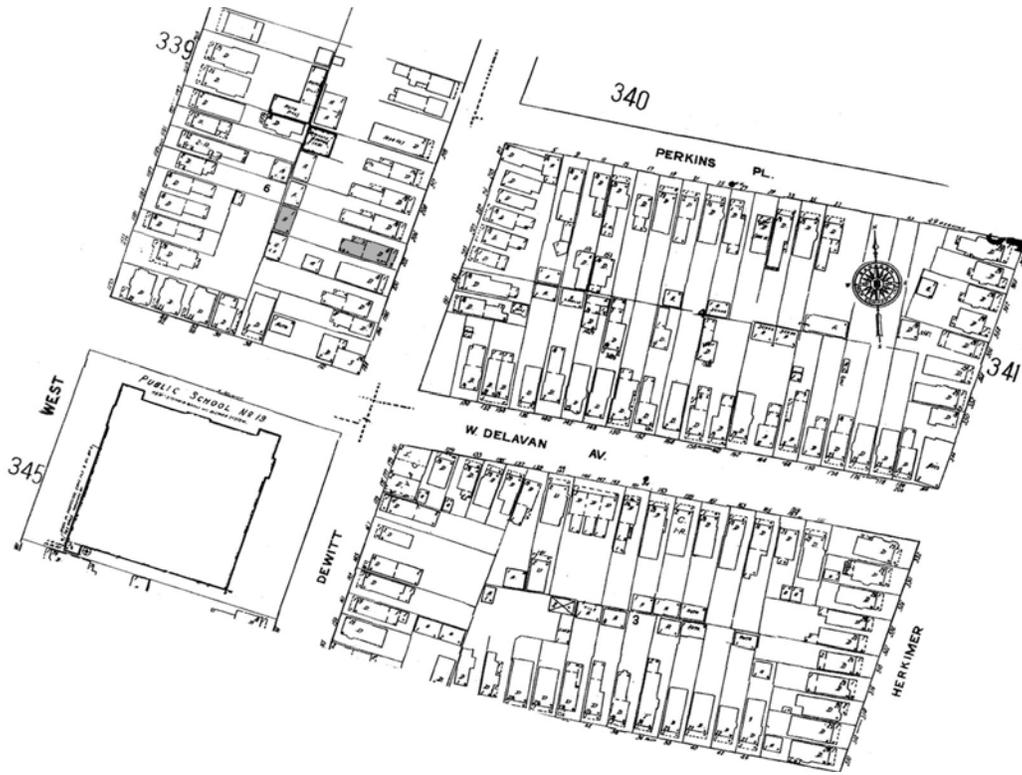
A two-story, front-gabled, vernacular, urban frame residence. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width porch, with square elephantine column, solid wood rail, and wide frieze. The sidelighted main entrance is located in the south bay of the façade with a small entry stair. A large window group occupies the north bay. The second floor façade is distinguished by simple symmetric fenestration. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests at the rear on the central ridge. Minor detailing includes modest corner boards, framing, and ornamented raked gable trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 202 Dewitt Street is significant as a good representative example of a two-story, front-gabled, vernacular, urban frame residence. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 346



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-37)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 203 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: asphalt shingle	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

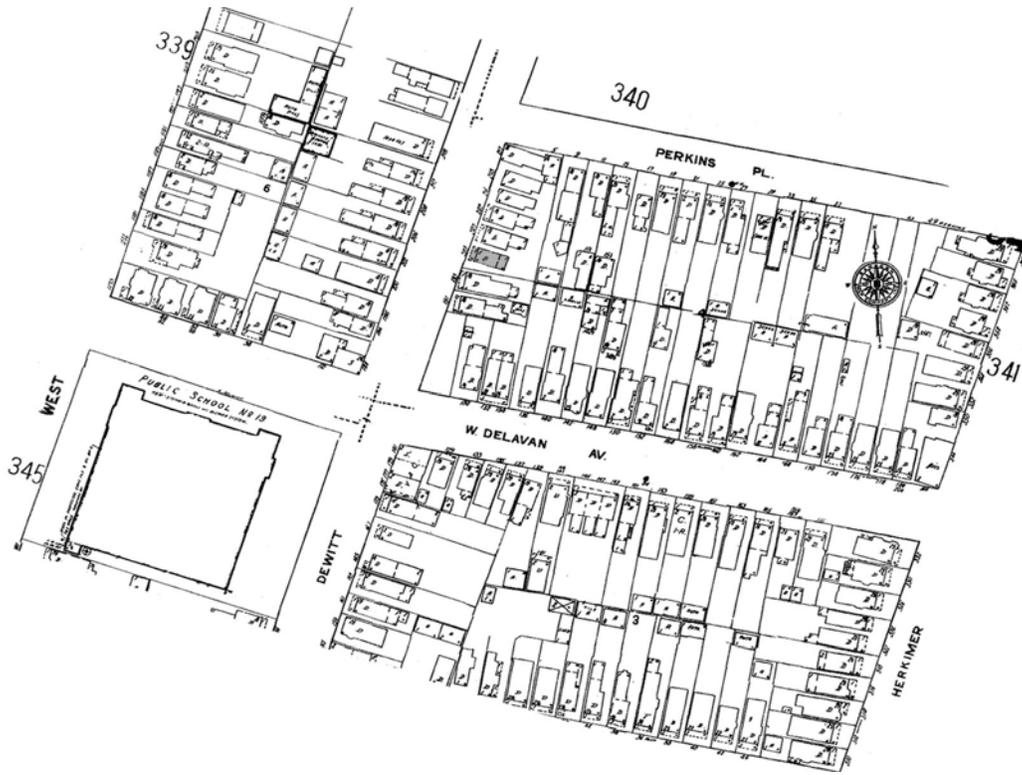
The single-family house at 203 Dewitt Street is set on a short trapezoidal lot, located on the east side of the street, on the block between West Delavan Avenue and Perkins Place. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

A one-story, front-gabled, vernacular workers' cottage with minor detailing of a mixed style. It has a rectangular plan. The façade has a full-width, flat roofed porch with square column supports, modern metal rail, wood clapboard base, modest frieze and cornice with lookout rafters, and an entry stair in the south. The main entrance is located in the south bay of the façade. A large single window occupies the north bay. Small rectangular protrusion and several paired windows visible on the south elevation. Exterior wall fabric is clapboard on the façade with asphalt shingle on the other elevations. Fenestration is one-over-one and three-over-one double-hung wood sash and fixed. Two brick chimneys rest on the south roof slope. Minor detailing includes modest corner boards, verge boards, and trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 203 Dewitt Street is significant as a good representative example of a one-story, front-gabled, vernacular workers' cottage with minor detailing of a mixed style. Notable workers' vernacular design characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 346



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-1)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 220 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 220 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between West Delevan Avenue and Perkins Place. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the central west section of the Grant-Ferry-Forest neighborhood.

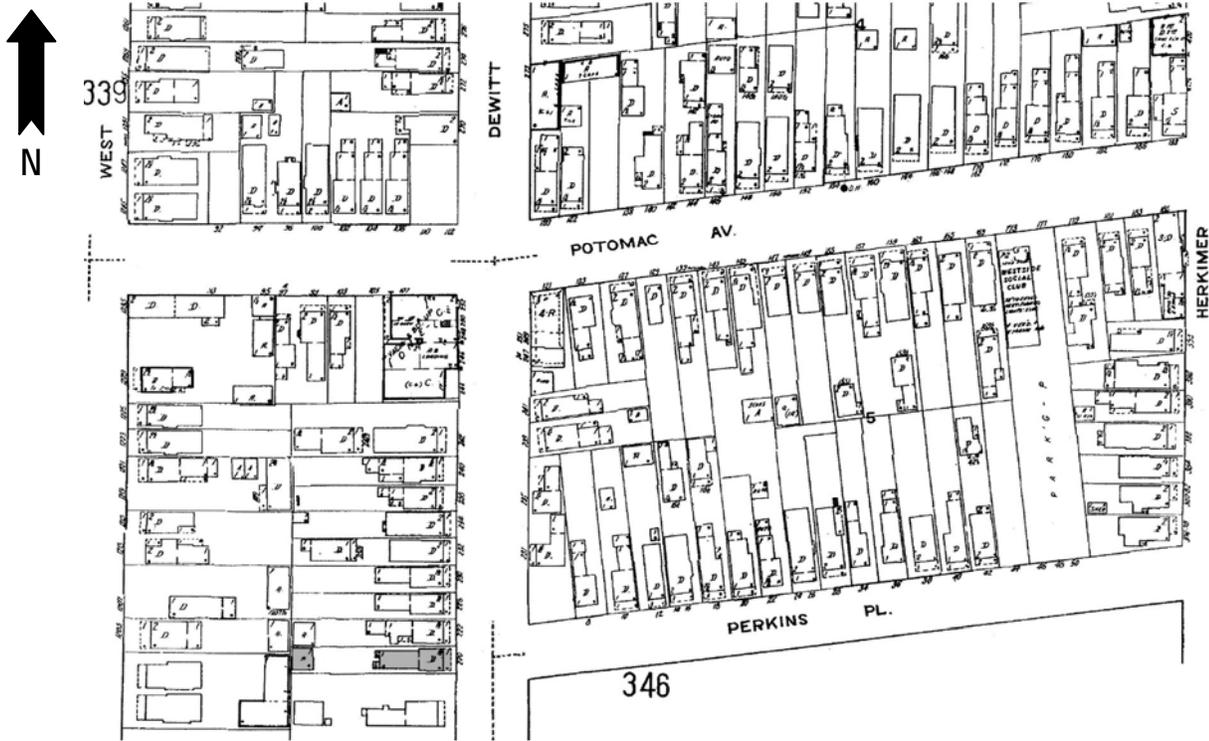
A two-story, front-gabled, vernacular, urban frame residence. It has a slight T plan with main block and narrowed one-story rear section. The façade has a full-width open porch, with modern metal rail and an entry stair on the south side. The main entrance is located in the south bay of the façade. The remainder of the façade is distinguished by simple, evenly spaced fenestration. Exterior wall fabric is wood shingle. Fenestration is one-over-one and three-over-one double-hung wood sash and fixed. A brick chimney rests on the central ridge of the rear section.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 220 Dewitt Street is significant as a good representative example of a two-story, front-gabled, vernacular, urban frame residence. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-2)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 280 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1885

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 280 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between Potomac Avenue and Bird Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

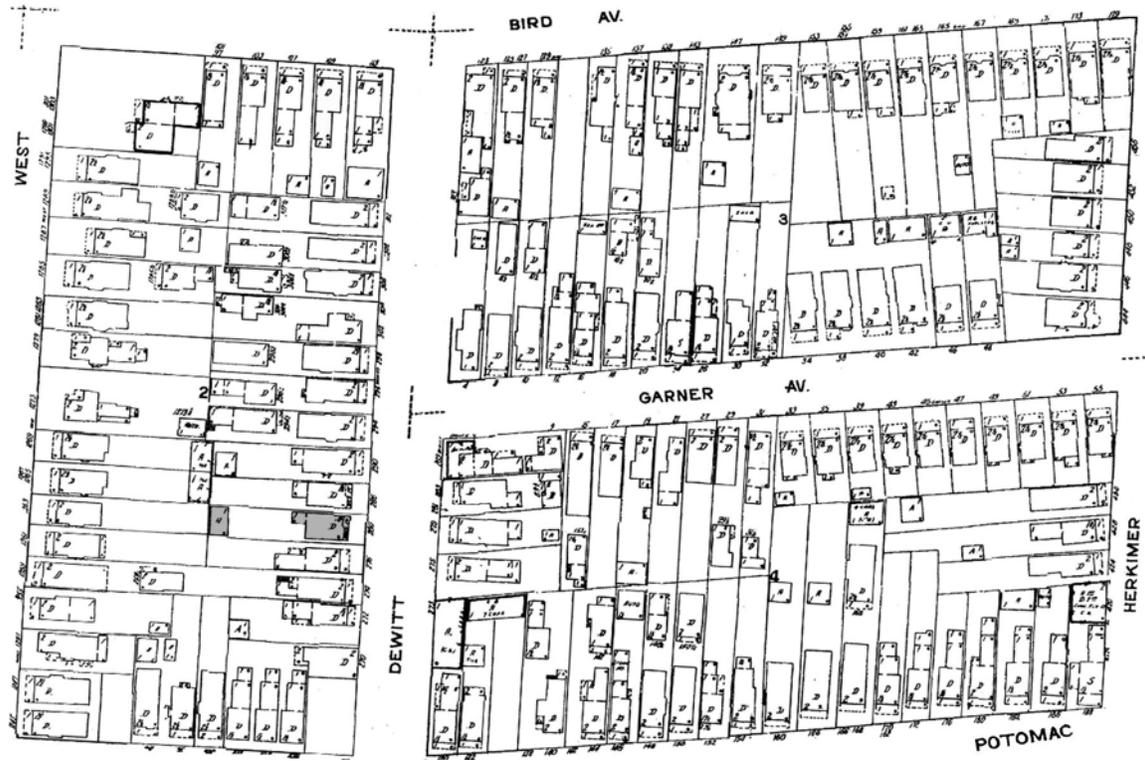
A two-story, front gambreled, vernacular, urban frame residence with Dutch Colonial revival influences. It has a rough rectangular plan. The façade has a full-width, porch with 3/4-height square column supports set on solid shingled rail that extends over the foundation, wide frieze, enclosed side windowing, and an entry stair in the north. The main entrance is located on the façade, off center to the north. A polygonal bay occupies the south bay. The second floor façade has an open porch with wood posts and open wood rail, and is distinguished by an enframed central triple window group with alterations. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Minor detailing includes modest framing and trim.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 280 Dewitt Street is significant as a good representative example of a two-story, front gambreled, vernacular, urban frame residence with Dutch Colonial revival influences, uncommon in the Grant-Ferry-Forest neighborhood, though characteristic of the era and late period.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-2)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 346 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 346 Dewitt Street is set on a standard lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

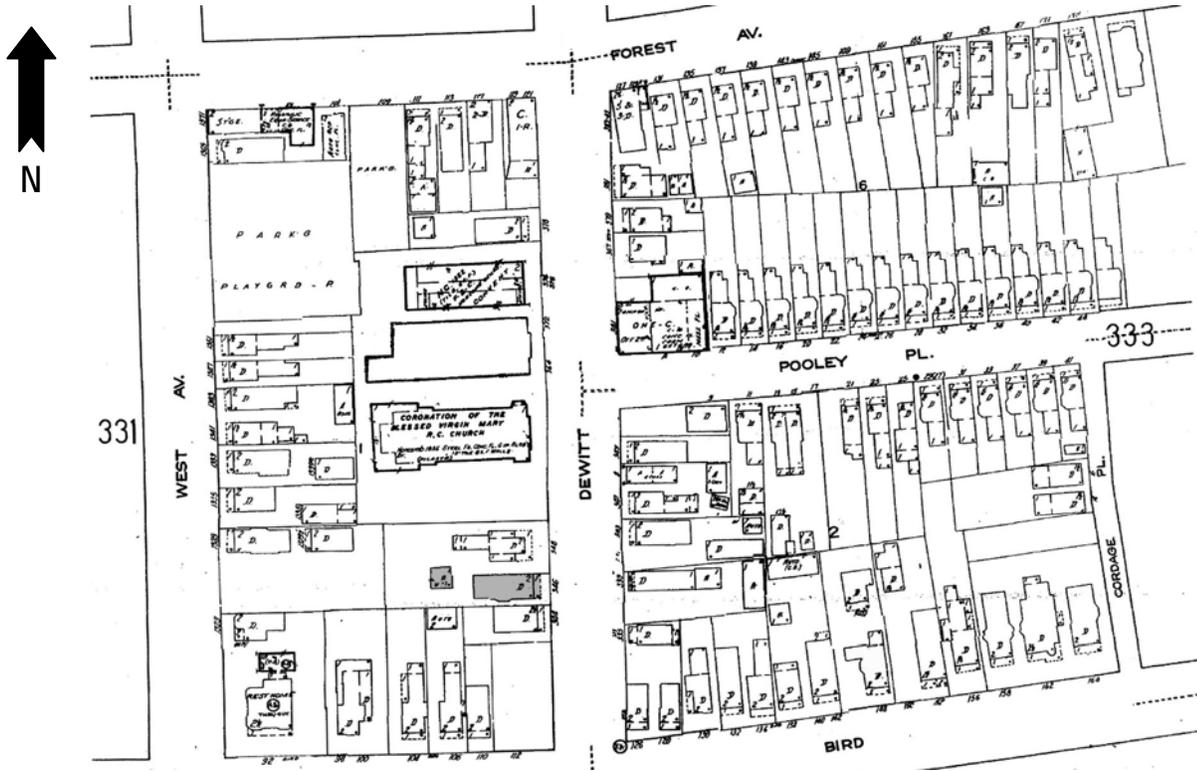
A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a narrow, full-width, flat roofed porch with large wood post supports, lattice rail, partially lattice enclosed sides, flat frieze, and an entry stair in the north. The modestly framed main entrance is located in the north bay. A large window with transom occupies the south bay. The second floor façade has a polygonal oriel in the south bay and a curved projection with centered French doors in the north, both are flush beneath the slightly projecting front gable end. A small polygonal oriel punctuates the front gable peak. A two-story projecting, polygonal bay is visible on the south elevation beneath the slightly protruding side cross gable. Exterior wall fabric is clapboard and wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Brick chimney visible on the rear slope of the side gable. Additional detailing includes modest corner boards, frieze, framing, and lookout rafters.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 346 Dewitt Street is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 332



PHOTOGRAPH: (Grant-Ferry-Forest: R-33; N-4)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) Coronation Church  
Address or Street Location 348 Dewitt Street  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Religious Current use Religious  
Architect/Builder, if known Mortimer J. Murphy Date of construction, if known 1955-1956

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

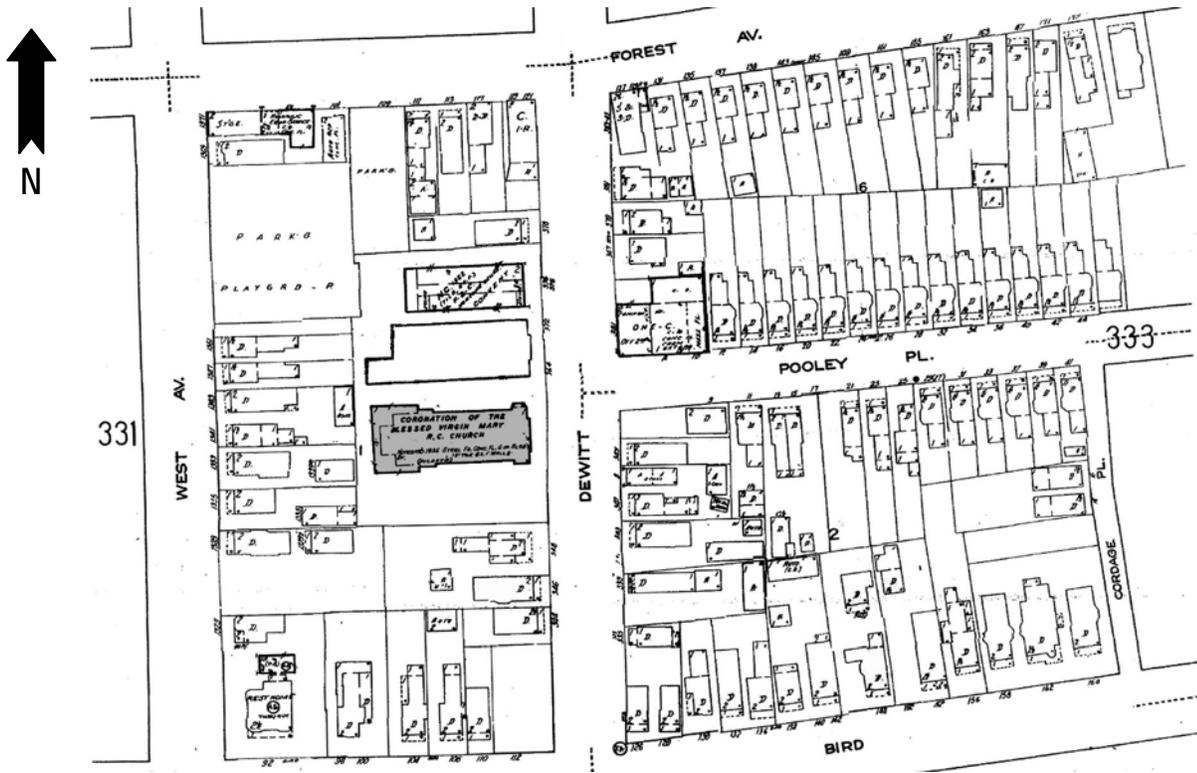
The building at 348 Dewitt Street is set on a large lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

An ecclesiastical building of brick and stone construction and Gothic influenced style. Front gabled with large forward parapet accented with a small bell tower; small cross gabling at the front with modest parapets. Large arched double door entrance with recessed stone surround located centrally on the façade and similar smaller entrances set to either side; all reached by wide stairs. Upper façade dominated by a large central pointed arched window with recessed stone surround and decorative paning; similar smaller windows set to either side. Buttressing and large regular windowing define the side elevations.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 348 Dewitt Street is significant as a good representative example of an ecclesiastical building of brick and stone construction and Gothic influenced style. Built as the Coronation of the Blessed Virgin Roman Catholic Church. This parish was founded in 1950 to relieve overcrowding at Annunciation Church.

MAP: Sanborn Map (Revised 1986) – Plate 332



PHOTOGRAPH: (Grant-Ferry-Forest: R-1; N-27)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) Coronation School

Address or Street Location 348 Dewitt Street

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Educational/Religious Current use Educational/Religious

Architect/Builder, if known Mortimer J. Murphy Date of construction, if known 1951-1952/1955-1956

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

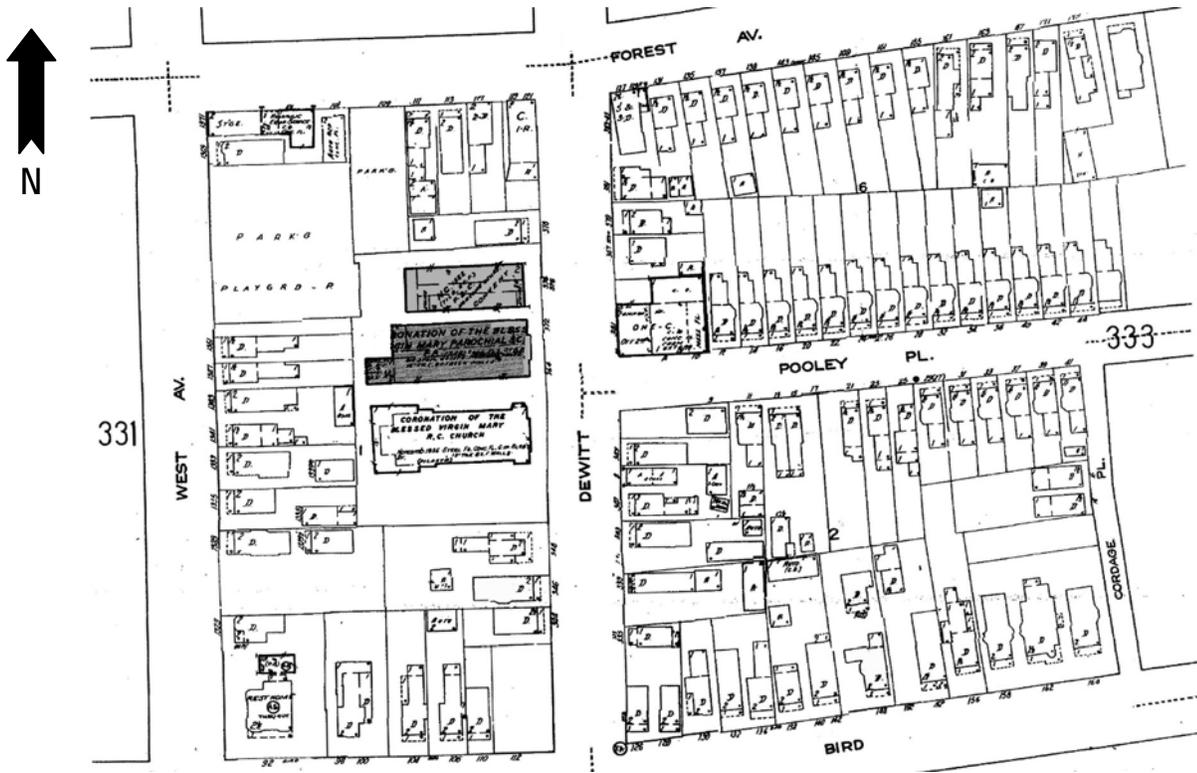
The buildings at 348 Dewitt Street are set on a large lot, located on the west side of the street, on the block between Bird Avenue and Forest Avenue. Dewitt Street is a north-south, largely residential street that runs the northern length of the western side of the neighborhood on a slight north east diagonal, beginning at Breckenridge Street and extending to the neighborhood's north boundary. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

A set of modern mid-nineteenth century buildings. Set on stone foundations, both are of simple brick and stone construction and have regular rectangular plans. Flat roofed and two-stories in height, the facades and elevations are defined by regular, even spaced, double-hung window groupings of varying lights with modest stone sills.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The buildings at 348 Dewitt Street are significant as a good representative example of a set of mid-nineteenth century, two-story, flat roofed, modern brick and stone buildings. School buildings built for the adjacent Coronation of the Blessed Virgin Roman Catholic Church. The north building was built first.

MAP: Sanborn Map (Revised 1986) – Plate 332



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-35)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 15 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Simon Larke Date of construction, if known 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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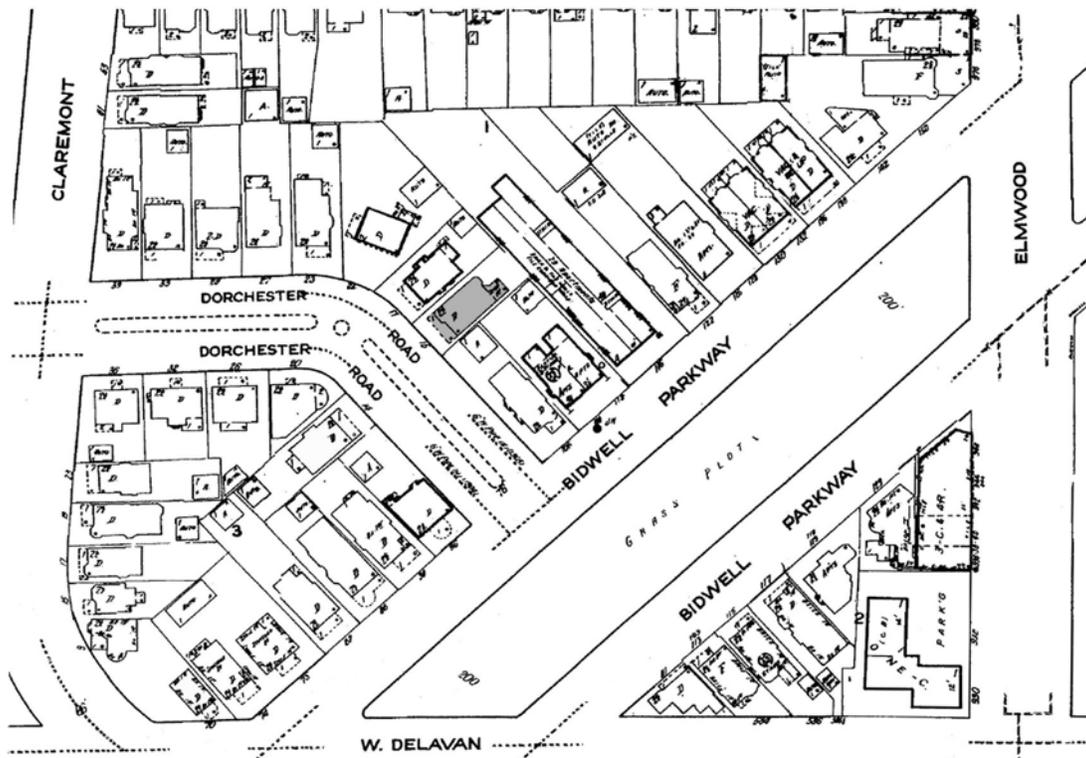
The single family house at 15 Dorchester Road is set on a slightly shortened lot, located on the north side of the street, on the irregular curved block between Claremont Avenue and Bidwell Parkway. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, substantial cross gabled, urban frame, modest frame residence. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width, hipped roof porch with decorative scrolled metal supports and rail, ornamented frieze and cornice with brackets, and an entry stair in the east. The main entrance is located on the façade, off center to the east. A squat single window sets next to the entrance, in the far east bay. A polygonal bay with triple windowing occupies the west bay. The second floor façade is defined by matching polygonal oriels in either side bay, flush beneath the pent of the enclosed gable end. A Palladian window punctuates the front gable end. Tall brick chimney on the front slope of the side cross gable. Exterior fabric is wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes noted frieze with extensive bracketing, trim molding, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 15 Dorchester Road is significant as a good representative example of an architect designed two-and-one-half story, substantial cross gabled, urban frame, modest Queen Anne styled residence. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries on the West Side. Built for W. C. Barker to the designs of a Niagara Falls architect, Simon Larke. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-12)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 19 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1920

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The building at 19 Dorchester Road is set on a fairly large irregular trapezoid lot, located on the north side of the street, on the irregular curved block between Claremont Avenue and Bidwell Parkway. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

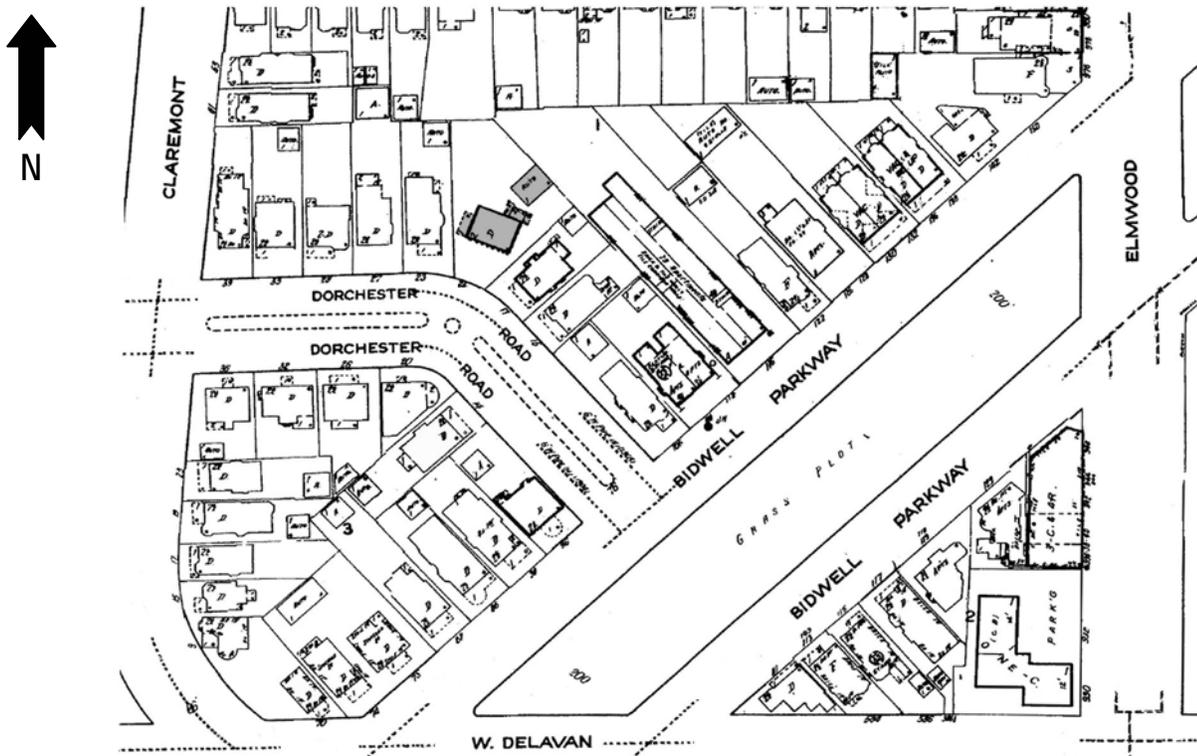
A two-and-one-half story, side gabled, urban Colonial Revival residence. It has a slightly irregular plan with rectangular main block and a small one story wing to the west and rear extension in the east. The main entrance with elaborate pediment surround is located centered on the façade. The lower façade is distinguished by symmetric windowing, two large single windows with recessed arch surround and lower framing on either side bay. The second floor façade is defined by simple symmetric single windowing matching the established spacing of the lower fenestration. Three small gabled dormers with single window accent set spaced evenly across the front roof slope. Exterior brick chimneys bisect both side gable ends. Exterior fabric is brick with wood clapboard on the dormers. Fenestration is primarily six-over-six double hung wood sash and fixed. Additional detailing includes noted frieze with ornament, trim molding, and framing.

A large two-story garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 19 Dorchester Road is significant as a good representative example of two-and-one-half story, side gabled, urban Colonial Revival residence. More styled than some, urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-14)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 26 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known \_\_\_\_\_

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

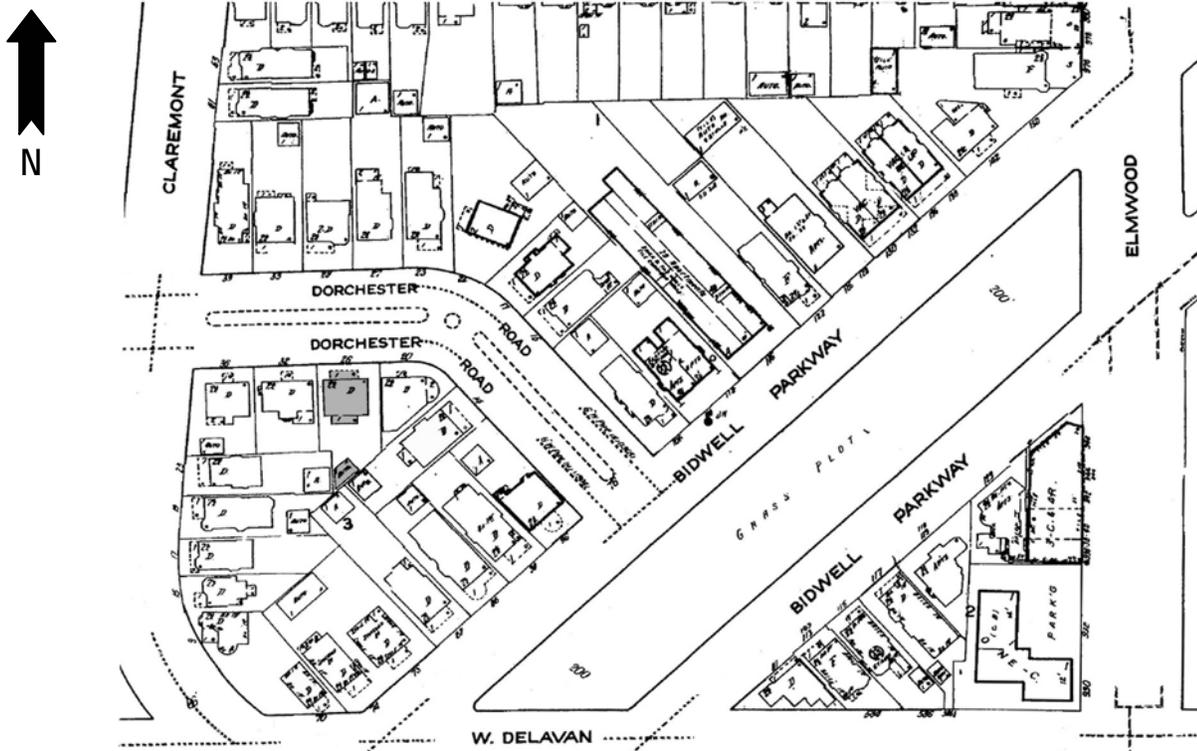
The building at 26 Dorchester Road is set on a short slightly irregular lot, located on the south side of the street, on the irregular curved block between Claremont Avenue and Bidwell Parkway. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two story, side gabled, urban Colonial Revival styled residence. It has a shortened rectangular plan and is set on a stone foundation. The façade has a ¾ width, flat roofed, enclosed porch to the west, with Tuscan columns, elongated multiple pane windowing on the upper portion, patterned wood base with spindled wood rail running in front, elaborate entablature with ornamented modillions and medallions, and a railed entry stair at the east side. The main entrance is located centrally on the façade, within the porch. The remaining lower façade in the east has a cutaway corner and is distinguished by two single windows of varying size. The second floor façade is defined by symmetric simple windowing with shutters in either side bay and a smaller centered single window with modest surround. A Palladian window accents the side gable peak. Rear central extension. Exterior fabric is rough edge wood clapboard. Fenestration is eight-over-one, six-over-six, and one-over-one double hung wood sash and fixed. Additional detailing includes noted frieze and cornice with ornament, trim molding and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 26 Dorchester Road is significant as a good representative example of a two story, side gabled, urban Colonial Revival styled residence. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence with most common on the West Side. Built for Henry Colgrove. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-20)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 36 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 36 Dorchester Road is set on a short corner lot, located on the south side of the street, on the irregular curved block between Claremont Avenue and Bidwell Parkway, at the east side of the intersection of Dorchester Road and Claremont Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

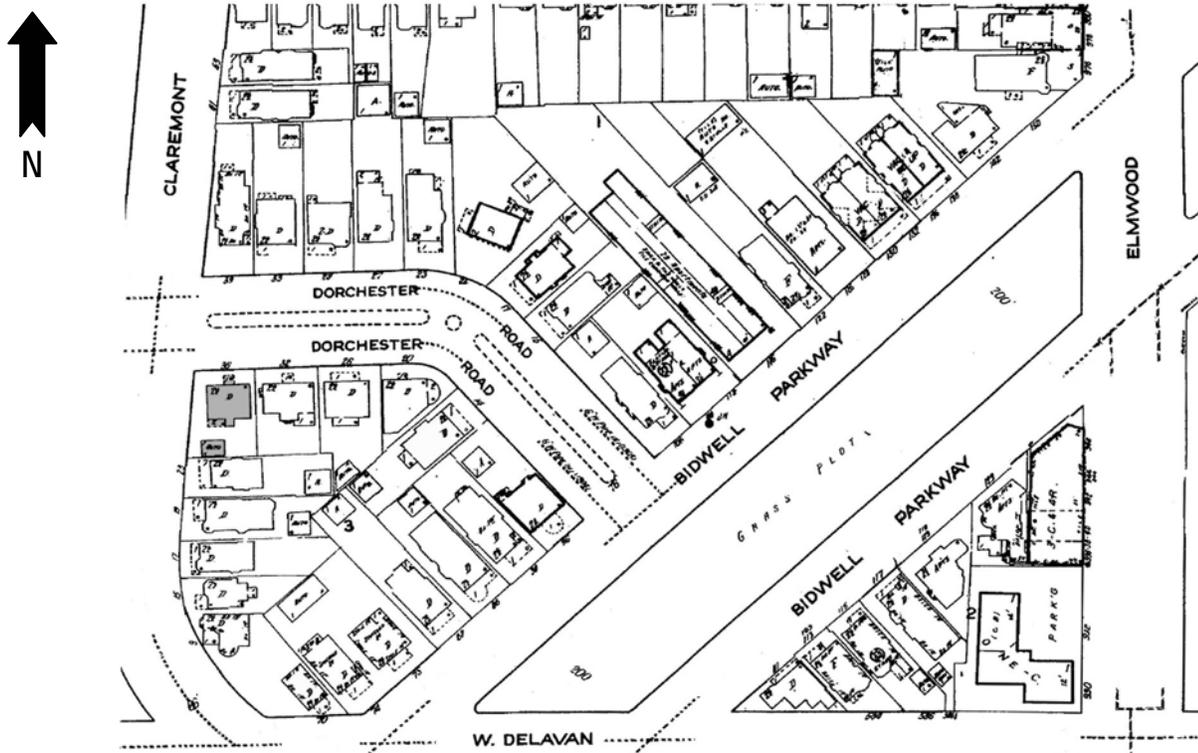
**NON-CONTRIBUTING**

A two-story, side gabled urban Colonial Revival styled residence.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 36 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabric.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-21)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 48 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known George F. Townsend Date of construction, if known 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 48 Dorchester Road is set on a short corner lot, located on the south side of the street, on the block between Richmond Avenue and Claremont Avenue, at the west side of the intersection of Dorchester Road and Claremont Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

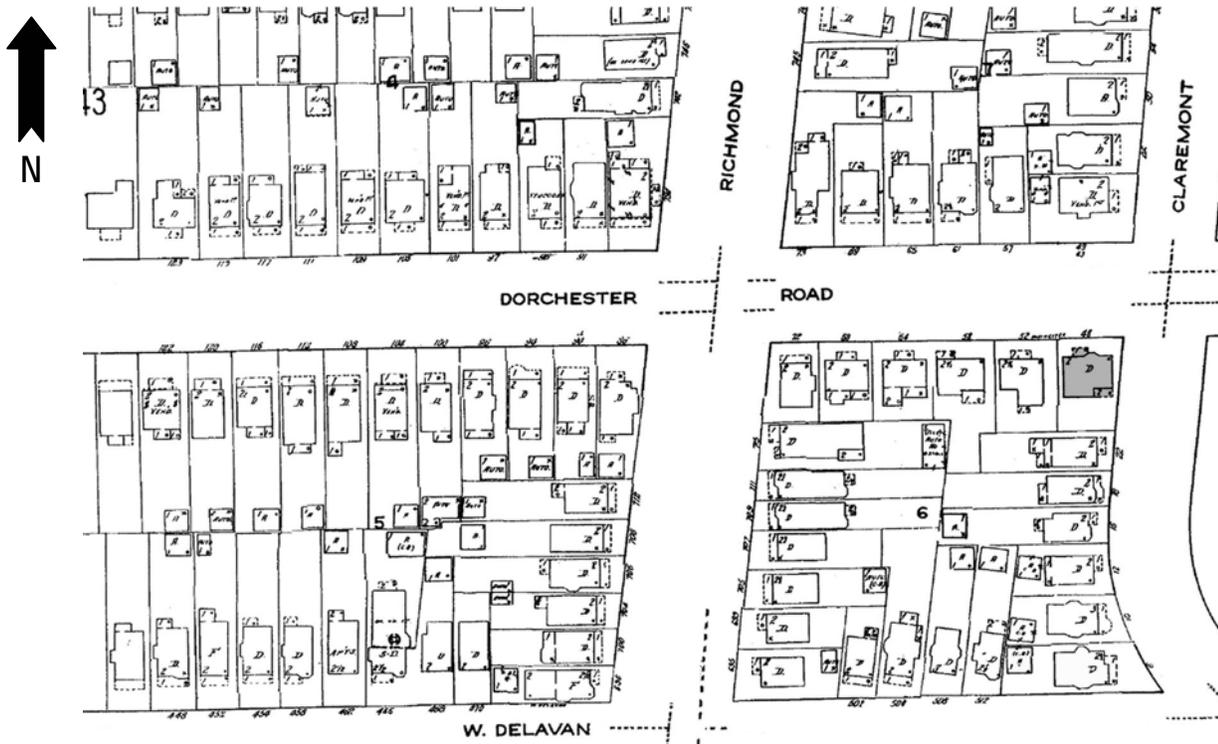
**NON-CONTRIBUTING**

A two-story, side gabled, urban residence of Colonial Revival design with mixed Craftsman elements.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 48 Dorchester Road is significant as a non-contributing, architect designed building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character despite the changes to the exterior fabric to altered asbestos shingling. Built for J. W. Ellis

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-22)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 52 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

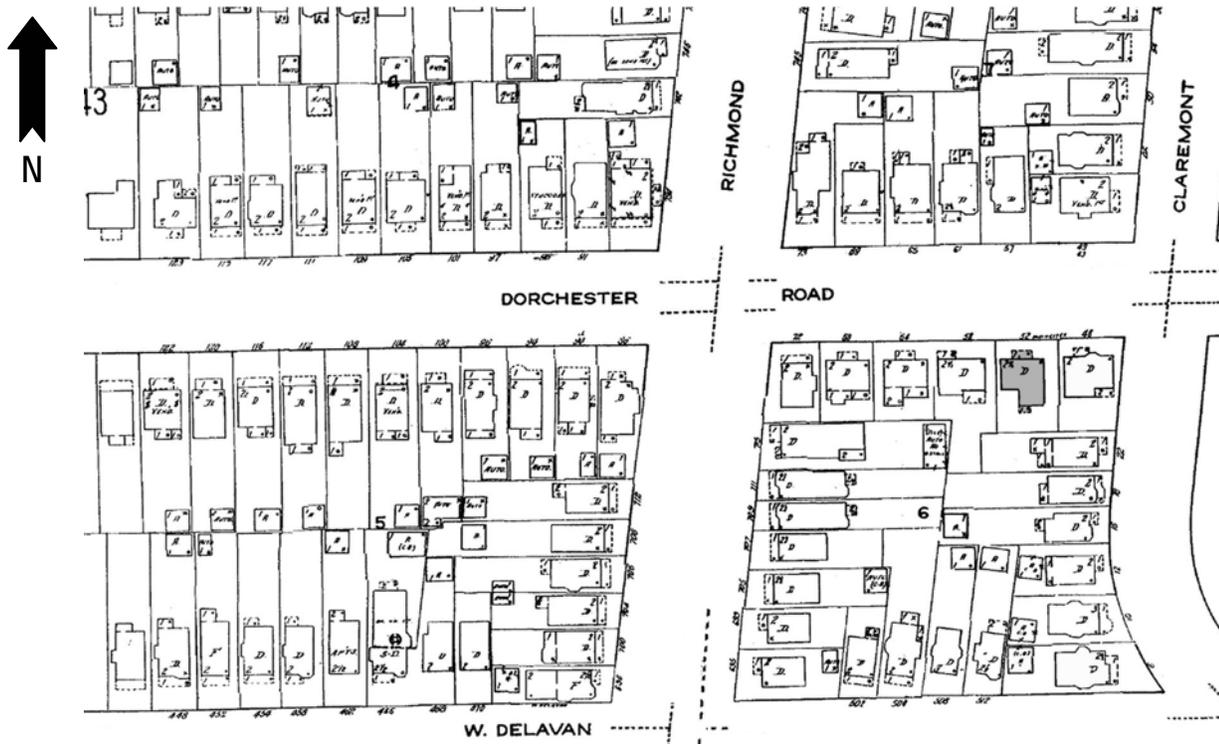
The single family house at 52 Dorchester Road is set on a short lot, located on the south side of the street, on the block between Richmond Avenue and Claremont Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two story, side gabled, urban, frame residence of Colonial Revival design and style with mixed Craftsman detail. It has an elled plan and is set on a low stone foundation. The façade has a centered ½-width, hipped roofed, porch with square elephantine clapboard covered columns that extended into the clapboard covered foundation, open wood rail, and frieze with subtle pointed arch cut-out, extended eaves and railed entry stair to the east. The framed and sidelighted main entrance with shuttering is located centrally on the façade, within the porch. A framed paired window sets centered in each side bay to either side of the porch. The second floor façade is defined by paired windows centered in either side bay over the lower fenestration, and a smaller centered paired window. A flared hipped roof dormer with small quartet multi-paned ribboned window accent sets centered on the front slope. Side gable peak punctuated by windowing. Small, suspended, first story roofed rectangular bay with windowing to the front of the east elevation. Brick chimney visible at the center ridge to the far west. Exterior fabric is wood clapboard. Fenestration is twelve-over-one, nine-over-one, and one-over-one double hung wood sash and fixed with multiple panes. Additional detailing includes wide overhanging eaves and exposed rafter tails.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 52 Dorchester Road is significant as a good representative example of a two story, side gabled, urban, frame residence of Colonial Revival design and style with mixed Craftsman detail. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Woodward Construction Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-24)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 57 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1905

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. \_\_\_\_\_

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 57 Dorchester Road is set on a short lot, located on the north side of the street, on the block between Richmond Avenue and Claremont Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

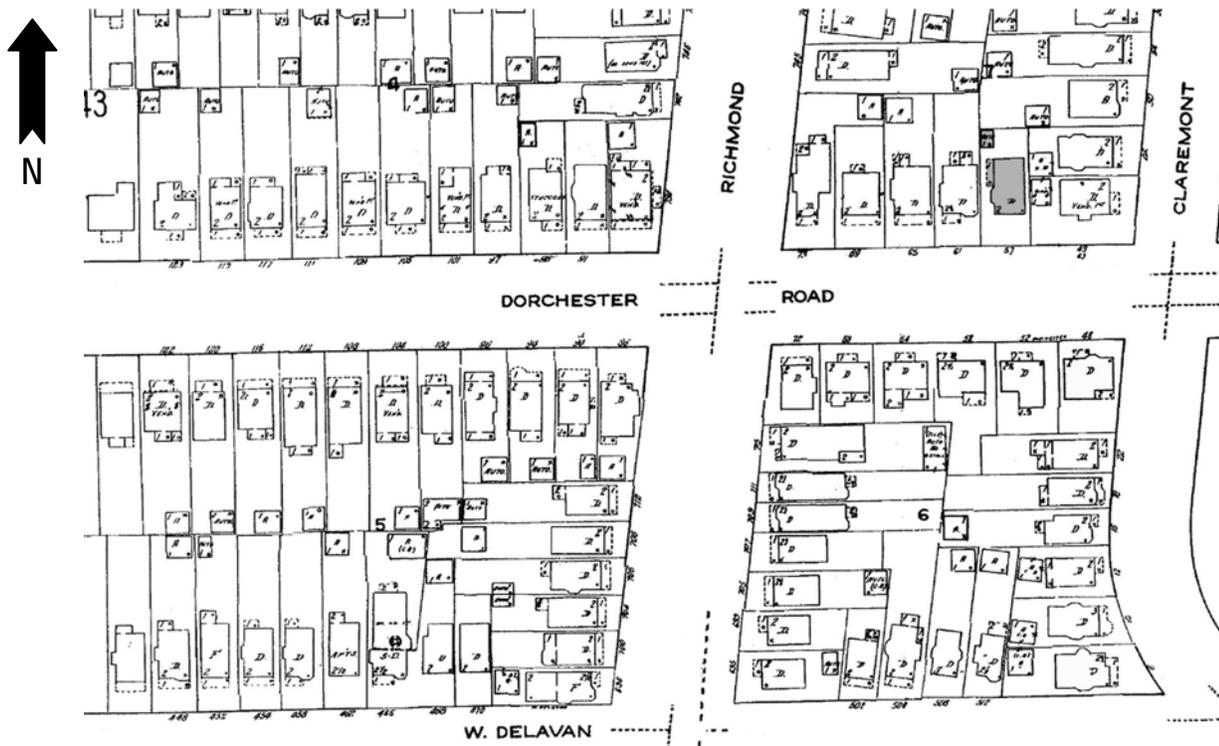
**NON-CONTRIBUTING**

A two-story. Hipped roof, urban frame residence of high Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 57 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains its initial styling, character and detail.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-22)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 75 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known William C. McCormack, bldr Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

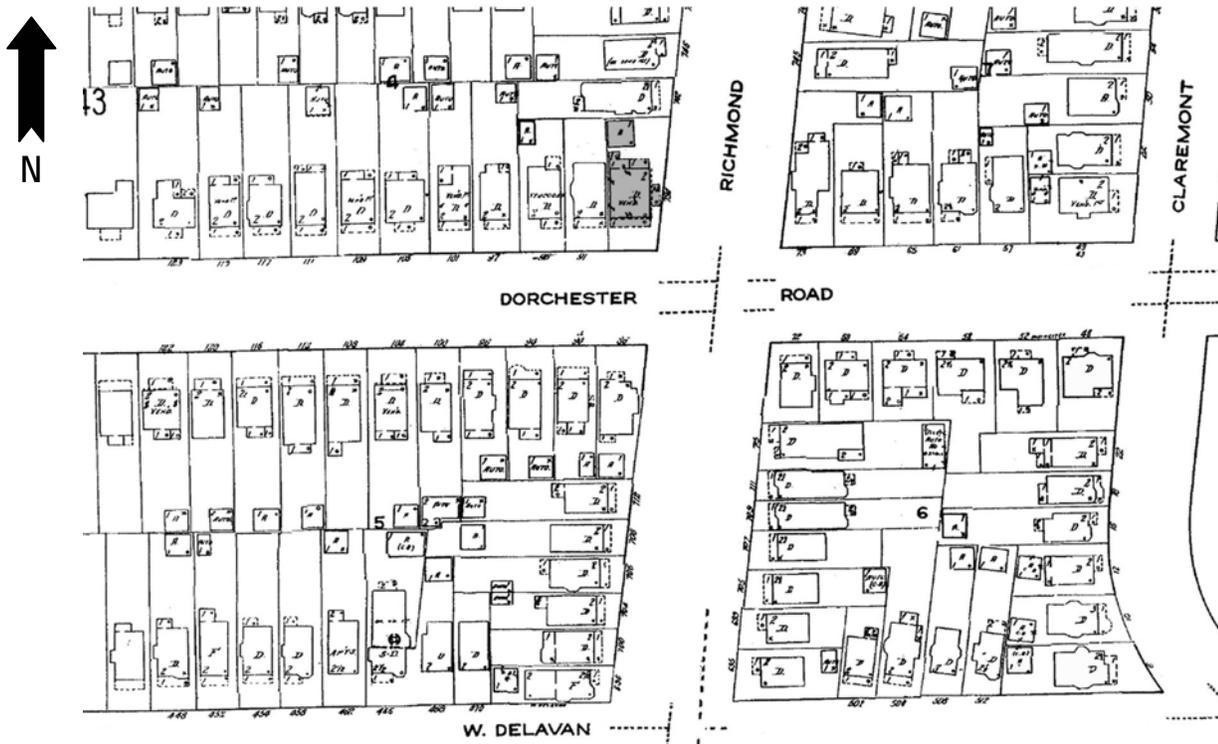
The single family house at 75 Dorchester Road is set on a trapezoidal corner lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue, at the west side of the intersection of Dorchester Road and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two story, hipped roofed, urban residence of Colonial Revival styling. It has a squared plan. The house is oriented fronting Richmond Avenue. The façade has a centered, full-height, flat roof entry porch with fluted Doric columns set on patterned wood piers, spindled wood rail, large elaborate entablature and forward entry stair. The main entrance with elaborate surround is located centrally on the façade, under the porch. An ornate bracketed second story balcony with entrance set over the main entrance. Symmetric single windowing defines the side bays. A hipped roof dormer with Palladian window accents sets centered on the façade's roof slope. The elevation fronting Dorchester has a full-width, flat roof porch with 3/4-hieght fluted Ionic columns set on capped brick piers that flow into the solid brick rail and foundation and large detailed entablature. A framed paired window sets centered in each side bay to either side of the porch. The second floor is define by single windows centered in either side bay over the lower fenestration, and a smaller centered paired window. A hipped roof dormer with small paired window accent sets center on the above roof slope; brick chimney visible to the east of the dormer. Exterior fabric is brick. Fenestration is primarily one-over-one double hung wood sash and fixed, stone sills and lintels. Additional detailing includes wide entablature with frieze and various molding trims.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 75 Dorchester Road is significant as a good representative example of a two story, hipped roofed, urban residence of Colonial Revival styling. Styled urban singles of varying style, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Henry W. Killeen. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-27)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 86 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known McCreary, Wood & Bradney Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 86 Dorchester Road is set on a slightly trapezoidal corner lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue, at the west side of the intersection of Dorchester Road and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

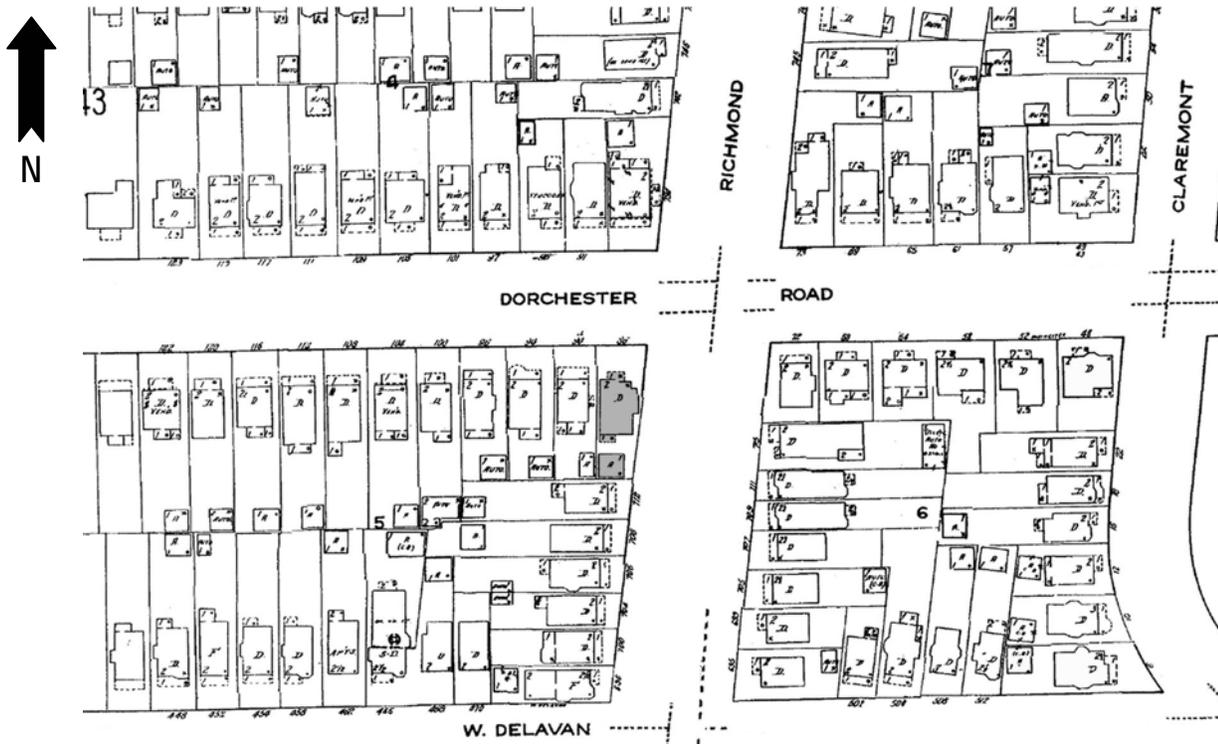
**NON-CONTRIBUTING**

An architect designed, two-story, cross gabled, urban residence of mixed period design and style.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 86 Dorchester Road is significant as a **non-contributing** building to the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character despite changes of exterior fabric of altered vinyl siding. Built by architect Charles S. Wood for his own residence

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-21)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 90 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Stephen R. Berry Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: rock aggregate	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 90 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

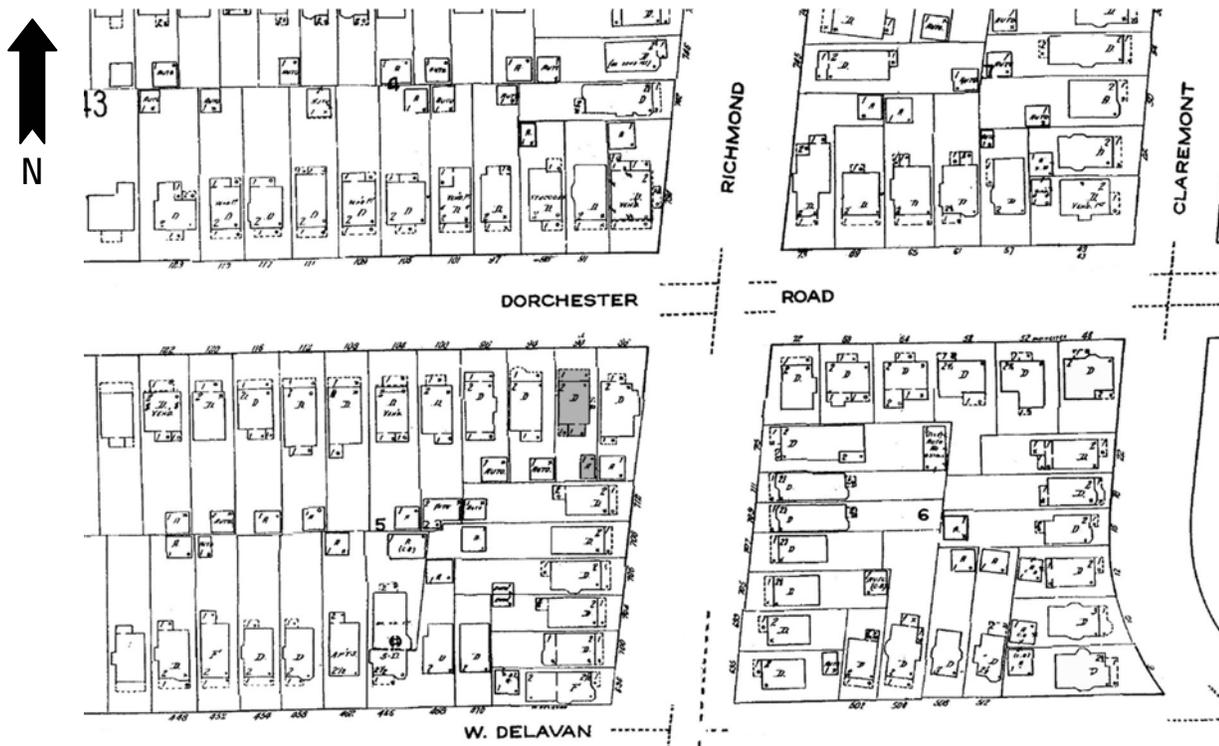
A two-story, hipped roofed, urban residence of foursquare influenced design and Prairie styling. It has a rough squared plan. The façade has a full-width, flat roofed porch with thick square rock aggregate covered columns with brackets capitals, extended solid capped brick rail, wide eaves, noted frieze with flattened arch cut-outs, windowed west side enclosure, and central entry stair. The modestly framed main entrance is located in the east bay of the façade. A slim single window sets next to the entrance, in the far east bay. A large multi-paned triple window group occupies the west bay. The second floor is defined by matching windows in either side bay. A low hipped roof dormer with small ribboned triple windowing accent sets centered on the front slope. Similar dormer on the east and west roof slopes. Roofed secondary side entrance on the east elevation. Brick chimneys visible on both side slopes. Exterior fabric is rock aggregate facing. Fenestration is primarily one-over-e double hung wood sash and fixed, with multiple panes. Additional detailing includes wide eaves and modest trim.

A garage sets in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 90 Dorchester Road is significant as a good representative example of a two-story, hipped roofed, urban residence of foursquare influenced design and Prairie styling. Uncommon Prairie style, though styled urban singles of varying design, such as this, were typical housing for middle ad more modest upper class families in the late nineteenth and early twentieth centuries; those of heavy Queen Anne influence were more common On the West Side. This street is one f the few l the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for F. N. Trevor. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District..

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-29)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 91 Dorchester Road  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

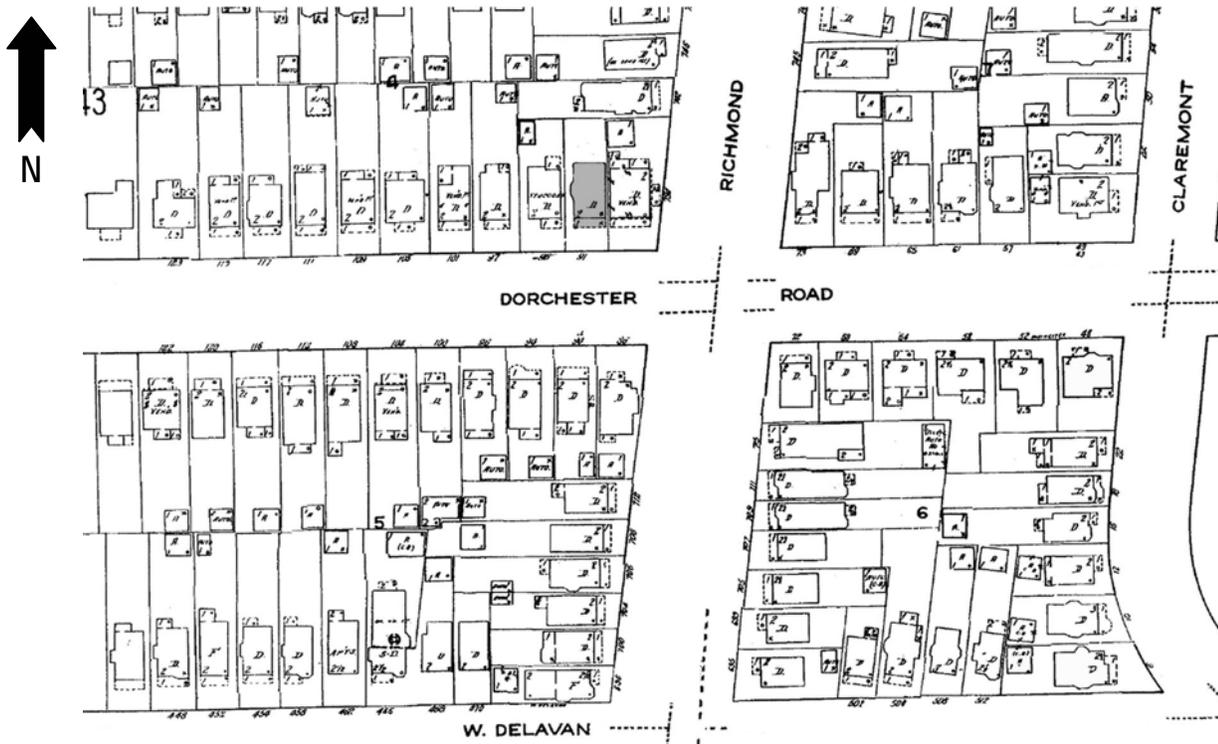
The single family house at 91 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne style. It has a rough shortened rectangular plan. The façade has a full-width, hipped roof porch with fluted Ionic columns, spindled wood rail, plain frieze, and 1/3-width pediment off center to the east over the railed entry stair. The main entrance is located on the façade off center to the east, set within a shallow vestibule with multi-paned windowing enclosure. A single window sets next to the entrance, in the far east bay; two evenly spaced singles windows set in the west bay. The second floor has a single window with leaded upper and a polygonal oriel with triple windowing in the west beneath the pent of the enclosed gable end. A triple window group punctuates the decoratively shingled gable end. Small roofed first story bay window to the front elevation. Exterior fabric is wood clapboard with decorative shingle. Fenestration is primarily one-over-one double hung wood sash and fixed; 4/1 and 6/1 lights in the gable window. Additional detailing includes small corner boards and frieze with exposed rafter tails.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 91 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne style. Style Durban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth centuries on the West Side, though this street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings indicative of the slightly later building period.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-28)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 94 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Jacob S. Hausauer Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 94 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

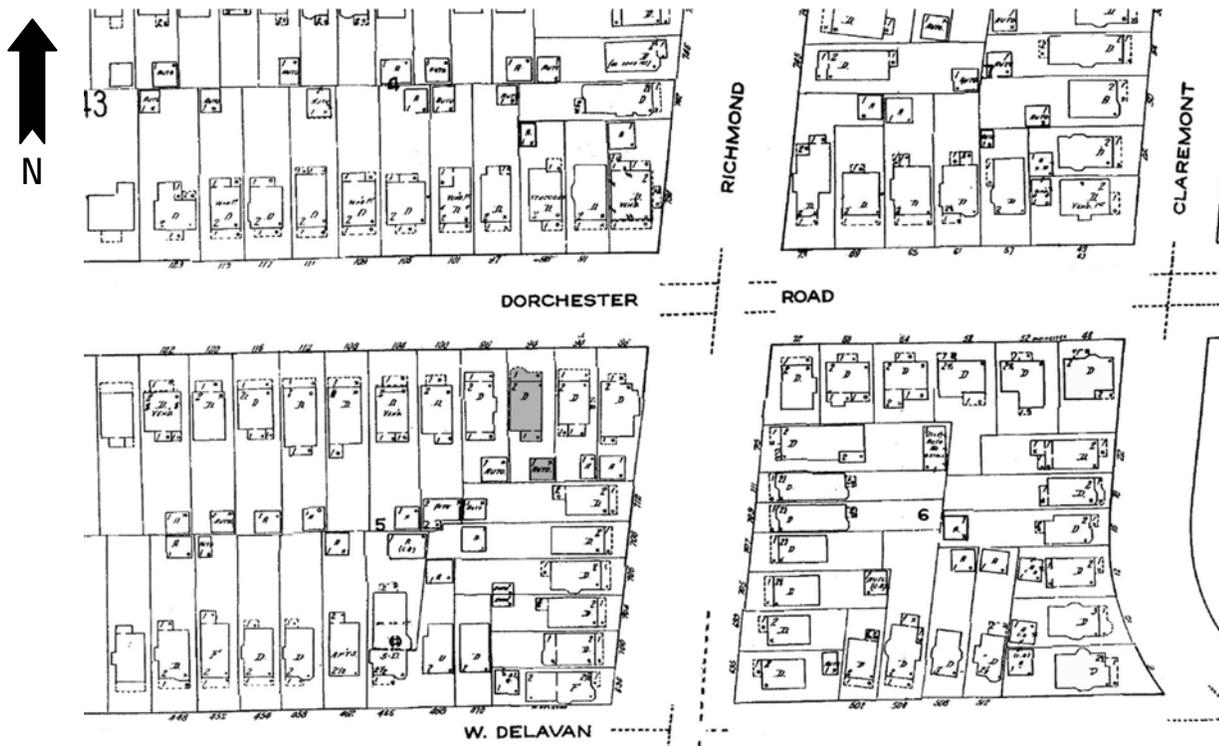
**NON-CONTRIBUTING**

A two-story, hipped roofed, urban residence of foursquare influenced design and mixed Queen Anne styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 94 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains some of its initial styling and character. Built for Frank C. Hall

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-13)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 95 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 95 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

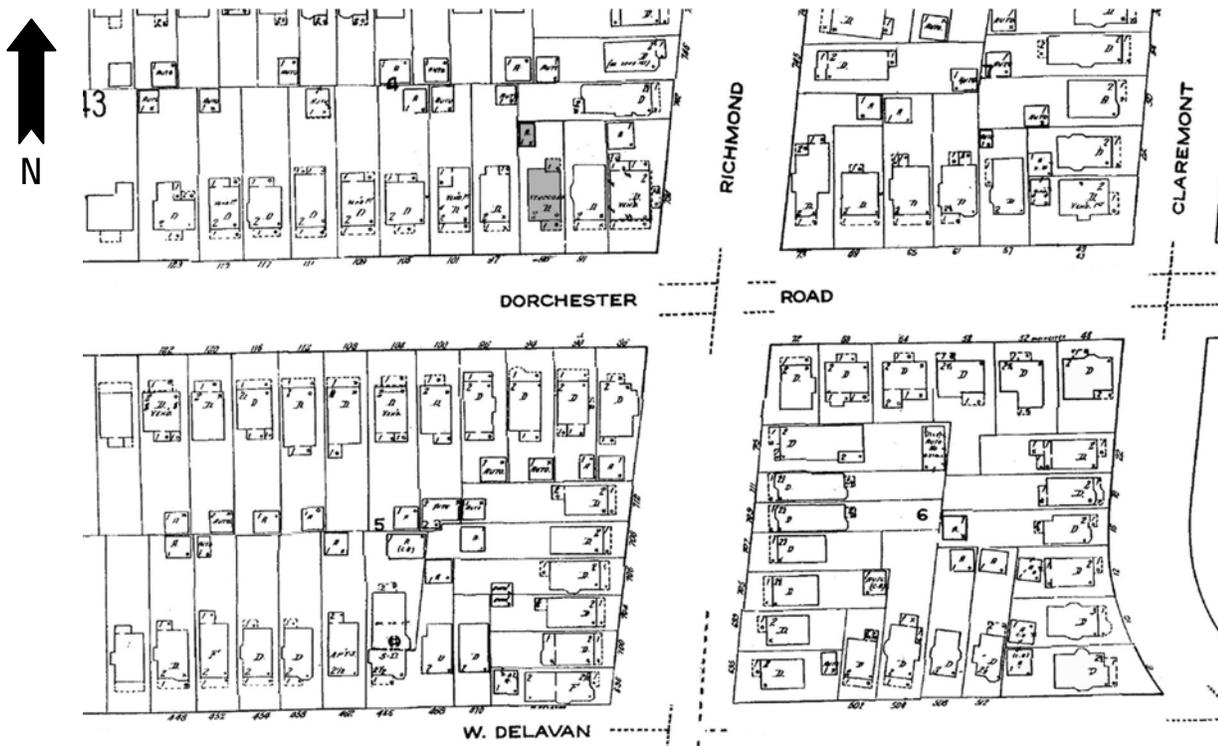
A two-story, hipped roofed, urban residence of foursquare influenced design in Craftsman styling. It has a rough squared plan, with small rear extension in the east. The façade has a 2/3-width, hipped roof, enclosed living porch to the east, with ribboned windowing on the façade and wide eaves with exposed rafter tails. The main entrance is located in a small enclosed entry porch recessed in the far west bay of the façade with an arched entry and small stair. The second floor is defined by even spaced single windows with decorative cut shutters. A low flared hipped roof dormer with shuttered windows accent sets centered on the front slope. Similar dormer on the east roof slope; shed roof dormer on the west slope. Bracketed upper story oriel on the west elevation, contained beneath the eaves. Brick chimneys visible on the front and both side slopes. Exterior is stucco with lower brick work. Fenestration is nine-over-nine and one-over-one double hung wood sash, casement and fixed with multiple panes. Additional detailing includes wide eaves, exposed rafter tails, and brackets.

A garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 95 Dorchester Road is significant as a good representative example of a two-story, hipped roofed, urban residence of foursquare influenced design in Craftsman styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne Influence were most common on the West Side. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Charles Fox. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-29)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 96 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: Replacement windows Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 96 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

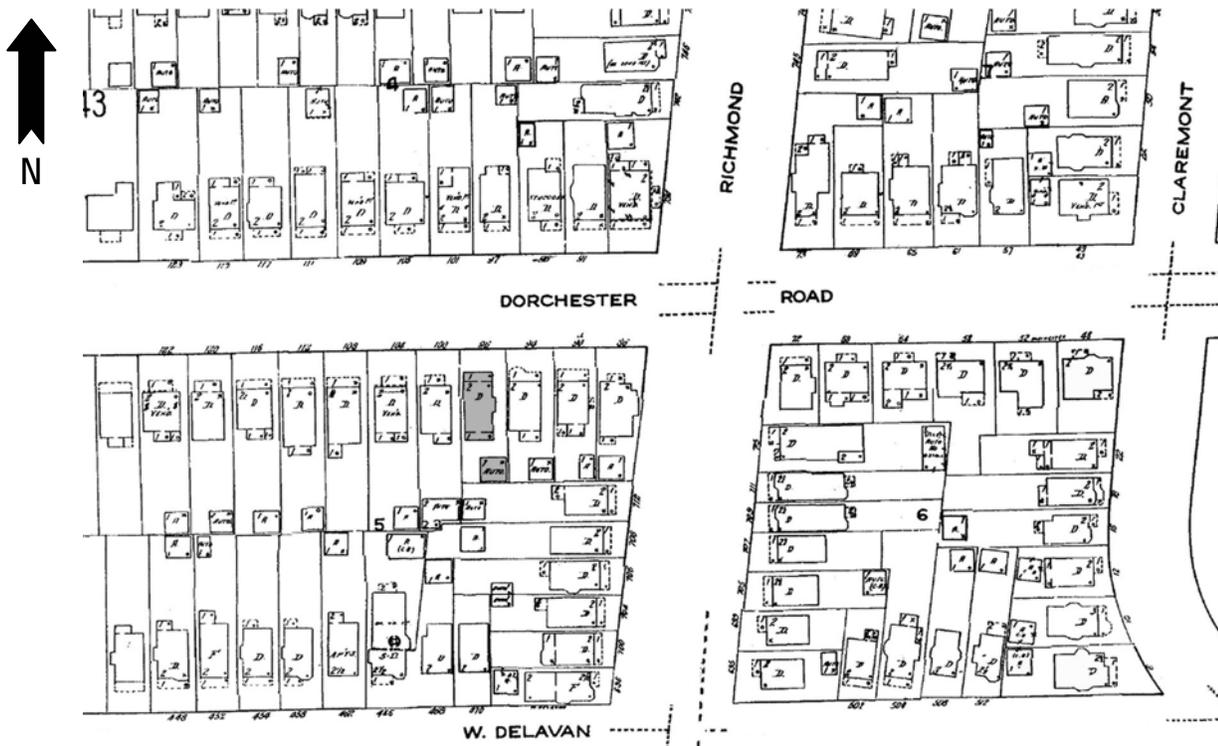
A two story, hipped roofed, urban residence of foursquare influenced design and modest mixed Craftsman styling. It has a shortened rectangular plan and is set on a stone foundation. The façade has a full-width, hipped roof, enclosed porch with square patterned wood pilasters, continuous ribboned window upper with transoms, solid patterned wood base, and wide frieze with flattened arch cut-outs. Main entrance located on the porch façade off center to the east, with a small metal railed entry stair. The second floor is defined by wide single windows centered in either side bay. A flared hipped roof dormer with small paired window accent sets centered on the front slope. Similar dormer on the east and west roof slopes. Secondary side entrance set with a full-height rectangular bay on the east elevation, contained beneath the eaves. Exterior brick chimney visible low on the west slope. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed; 3/1 lights in the front dormer window. Additional detailing includes wide eaves and exposed rather tails.

A garage occupies the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 96 Dorchester Road is significant as a good representative example of two story, hipped roofed, urban residence of foursquare influenced design and modest mixed Craftsman styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were more common on the West Side. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-30)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 97 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 97 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes aStreet and Richmond Avenue. Dorchester Road is a notable, east-west , residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

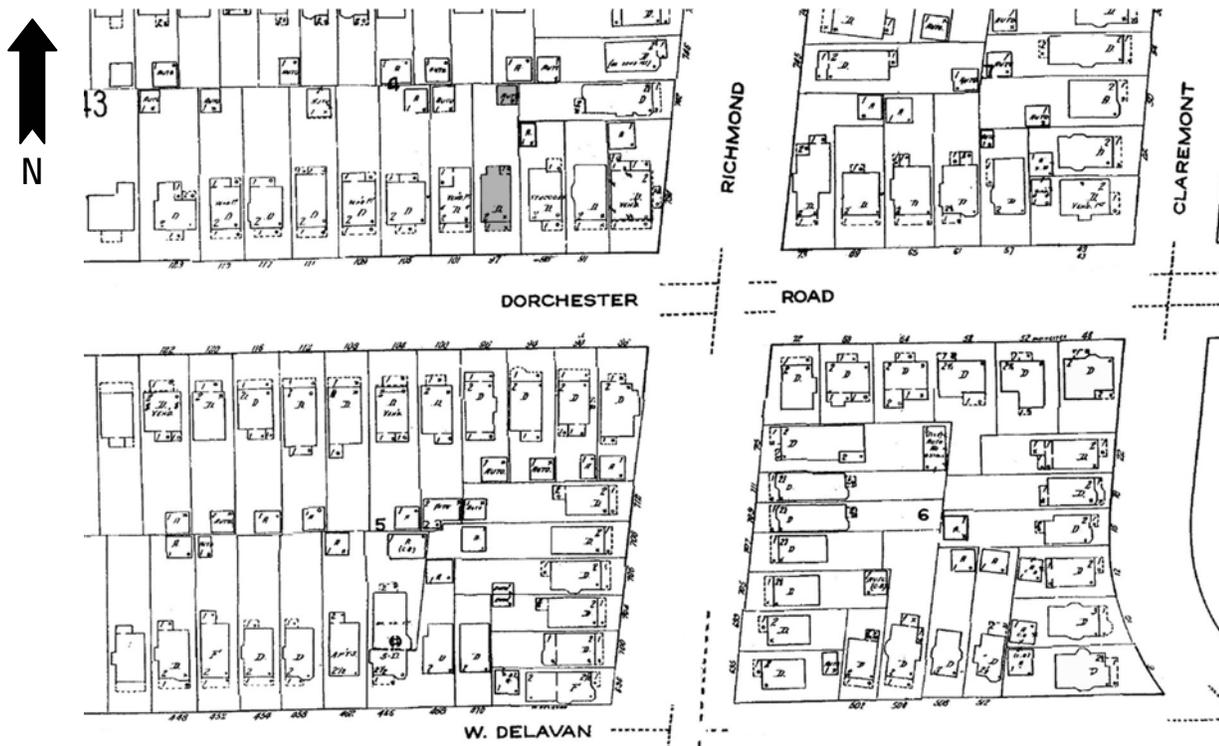
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed Craftsman styling. It has a shortened rectangular plan and is set on the stone foundation. The façade has a ¾- width, hipped roof, enclosed porch to the east, with grouped ½-height square pilasters at the corners set of singled piers that flow into the solid shingled base and continuous ribboned windowing. The main entrance is located on the façade of the house in the far west bay, with a small entry stair. Te second floor is defined by matching shallow rectangular oriels with paired windows centered in either side bay. A flared hipped roof dormer accented by a small single window with latticed upper sets centered on the front slope. A larger dormer of similar sets on the east and west roof slopes. Roof polygonal oriel on the east elevation. Rear extension with second story open porch. Exterior brick chimney visible to the front on the east elevation. Exterior fabric is wood shingle. Fenestration is one-over-one, and nine-over-nine double hung wood sash and fixed with multiple panes. Additional detailing includes wide eaves and exposed rafter tails.

A garage set in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 97 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed Craftsman styling. Styled urban singles of varying design, such as this, typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common of the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Sylvanus B. Nye. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-30)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 100 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 100 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

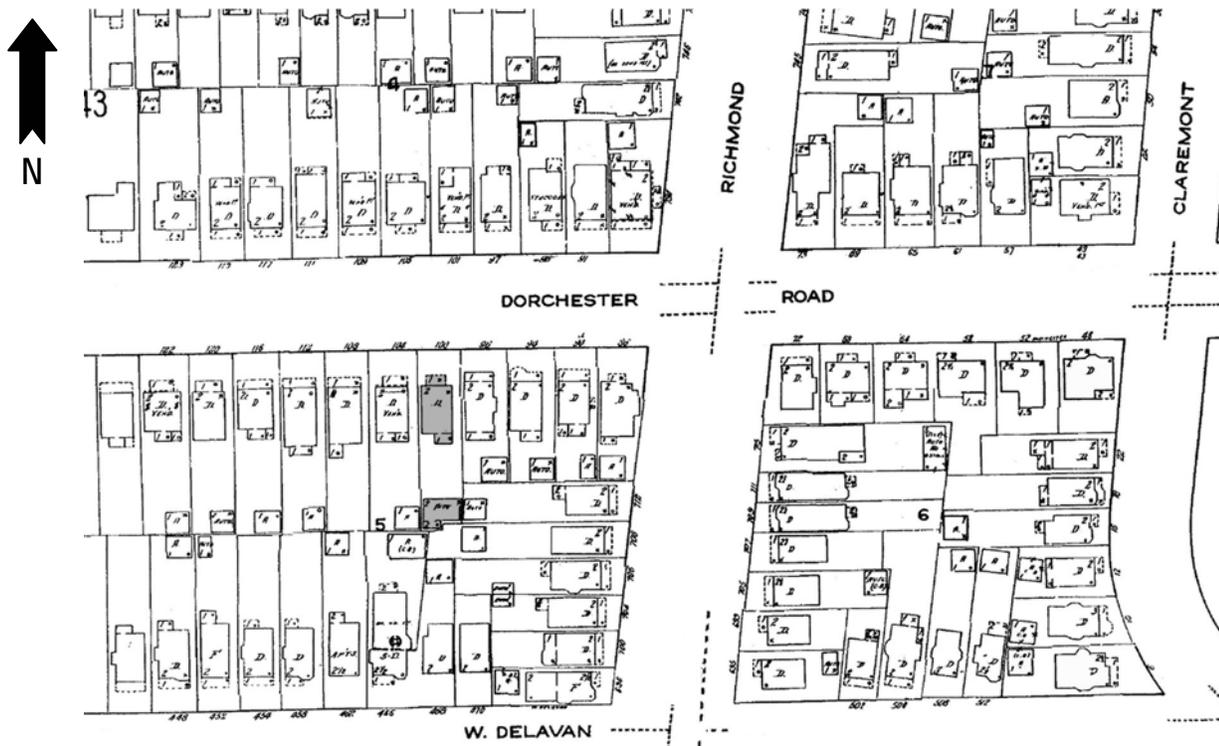
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. It has a shortened rectangular plan and is set on a stone foundation. The façade has ¾-width, hipped roof, enclosed living porch to the west, with ½-heightsquare pilasters at the corners set on solid stone base and foundation, continuous ribboned window upper, and wide entablature. A single window sets in the remaining far east bay of the façade. The main entrance is located on the east elevation, with a small roofed surround. The second floor is defined by matching paired windows centered in either side bay. A flared roof dormer accented by a paired window sets centered on the front slope. A similar dormer sets on the east roof slopes. One-story rear extension at the east. Exterior brick chimney visible to the front on the east elevation. Exterior fabric is wood clapboard. Fenestration is one-over-one, and nine-over-nine double hung wood sash and fixed with multiple panes. Additional detailing includes modest frieze with lookouts and trim.

A large two-story garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 100 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were common the West Side. The street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-31)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 101 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 101 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

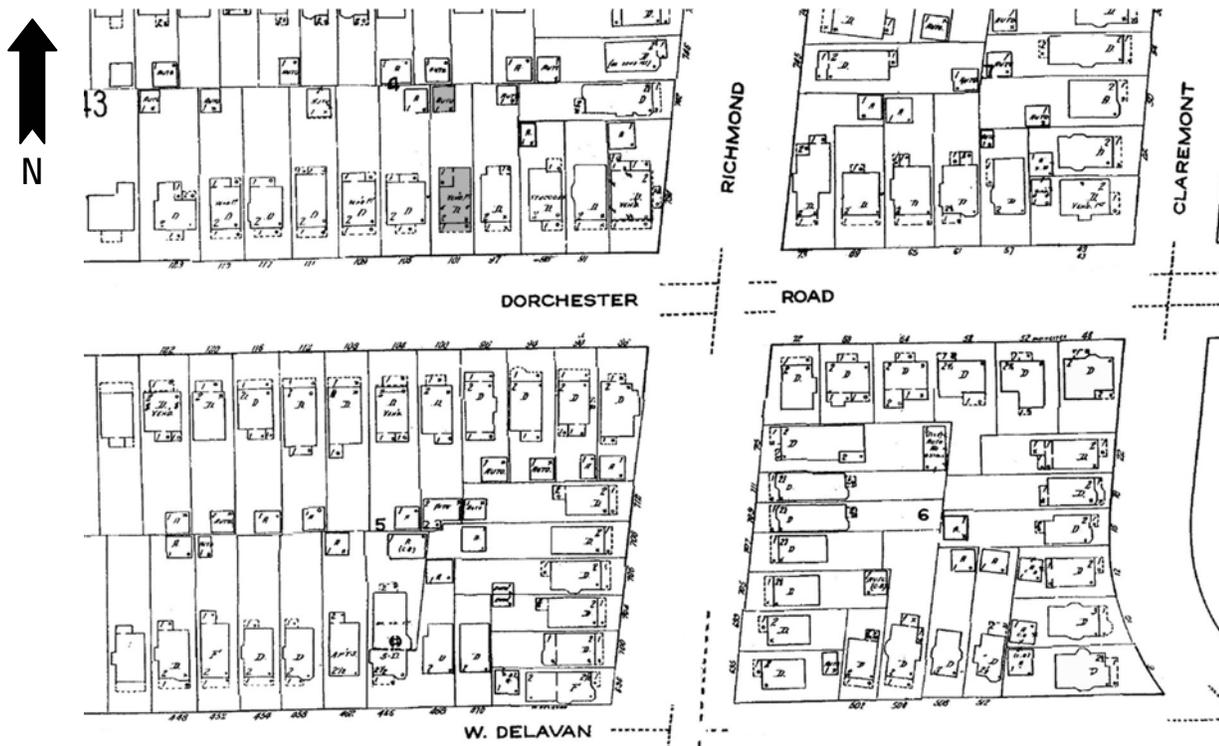
A two-and-one-half story, front gabled, urban frame residence of Queen Anne styling. It has a shortened rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed porch with brick columns and solid capped brick rail, west side window enclosure, modest frieze, extended eaves with lookouts, and a railed entry stair in the east. The main entrance with arched brick frame with arched brick frame with keystone is located in the east bay of the façade. A large triple window group with matching framing occupies the west bay. The second floor is defined by matching curved oriels with triple window groups centered in either side bay, beneath the pent of the gable end. The enclosed front gable is punctuated by Palladian window with patterned shingling. A gabled dormer with window accent rests on the east roof slope. Upper story roofed rectangular oriel visible on the east elevation. Brick chimney visible on the west elevation. Exterior fabric is brick on the lower story with wood shingled upper. Fenestration is one-over-one double hung wood sash and fixed, with occasional multiple panes. Additional detailing includes modest belt course, small frieze with ornament, lookouts and various trim.

A garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 101 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of Queen Anne styling. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries on the West Side, though this street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Elizabeth Watkins. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-31)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 104 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Jacob S. Hausauer Date of construction, if known 1911

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 104 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

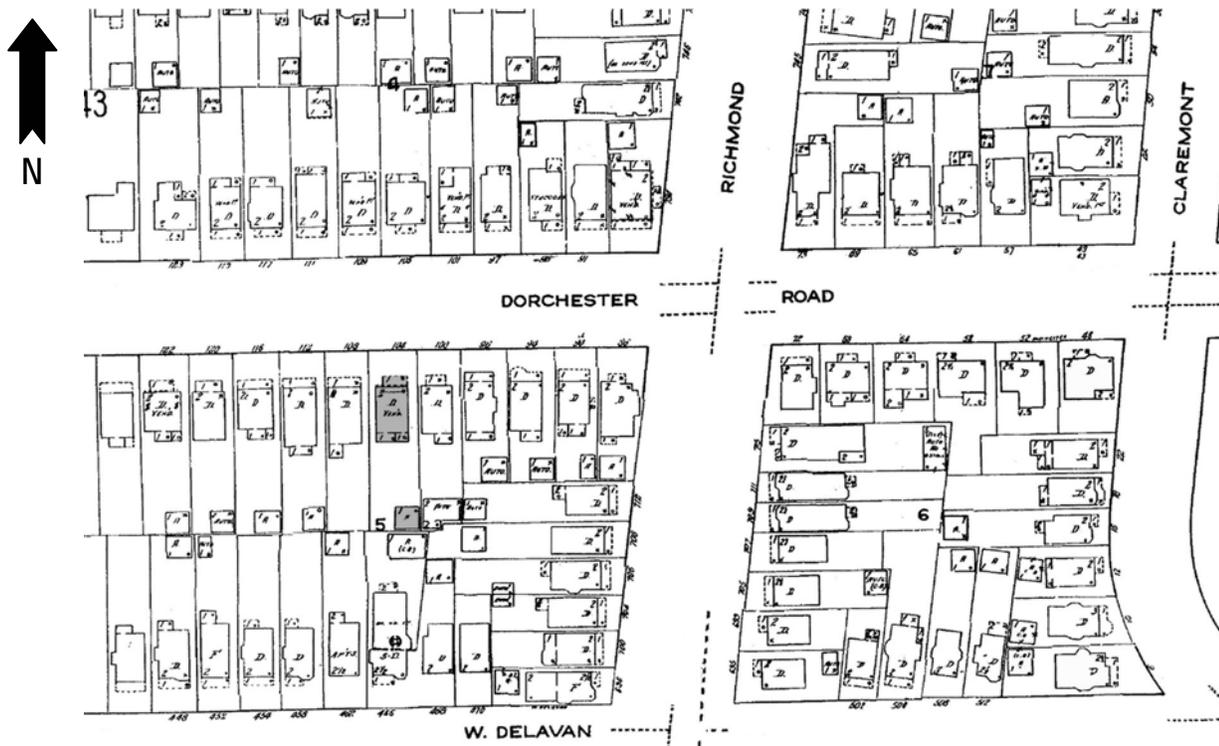
A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has a shortened rectangular plan and is set on a low stone foundation. The façade has a full-width, hipped roof porch; eastern ¾-width enclosed living porch with ½-height pilasters set on a solid capped brick base, vertical board upper with long triple window on the façade, wide overhanging eaves and modest frieze; western ¼-width entry porch of similar styling with windowed upper side enclosure and front railed entry stair. The main entrance is located in the far west bay of the façade under the entry porch. The second floor is defined by matching single windows with shuttering centered in either side bay and a small central leaded window. A flared hipped roof dormer accented by a small triple window sets centered on the front slope. A similar dormer sets on the east roof slopes. First story, roofed, projecting rectangular bay on the east elevation to the rear. Exterior brick chimney visible to front of the dormer on the east elevation. Exterior fabric is wood clapboard. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes wide eaves, modest frieze and trim.

A garage sets in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 104 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street is on e of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for James S. Chalmers. A Contributing buiding to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-32)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 105 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Frank H. Chappelle Date of construction, if known 1907

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 105 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

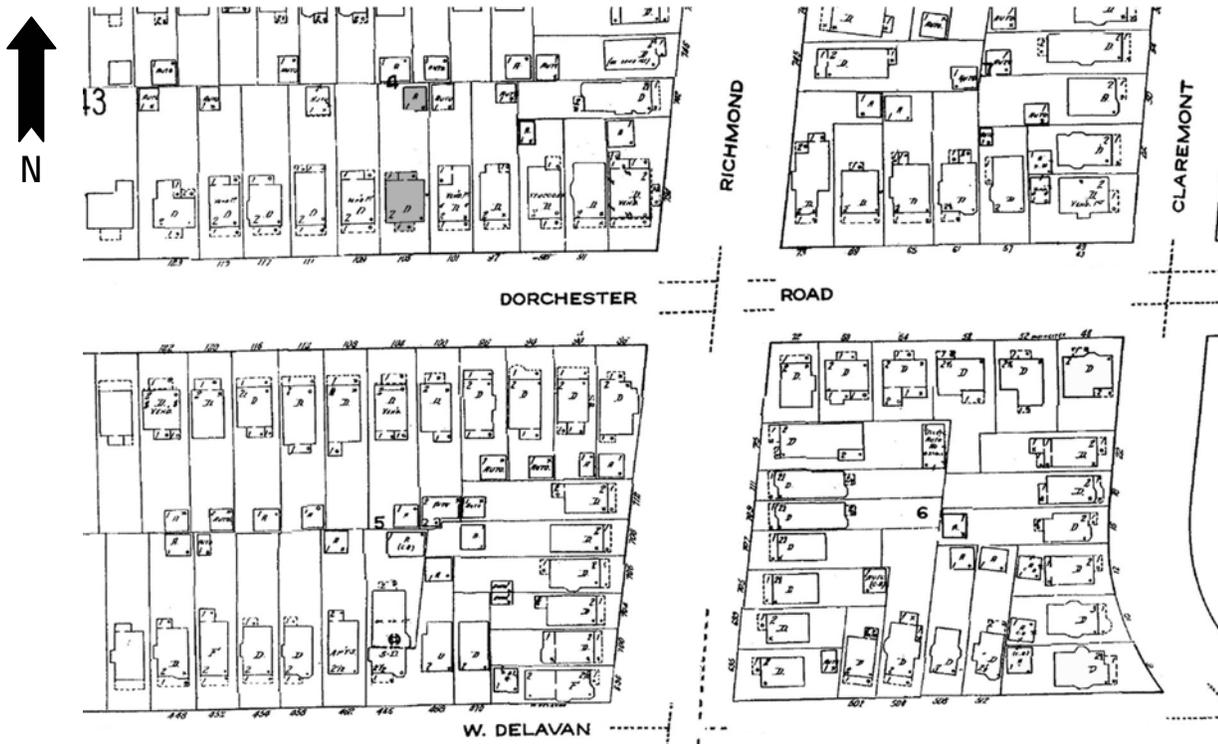
A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has a squared plan and is set on a stone foundation. The façade has a centered ½-width, hipped roof porch with ¾-height Roman Tuscan column set on capped stone piers, spindled wood rail, frieze with pointed arch cut-outs, overhanging eaves with exposed rafter tails, and central entry stair. The main entrance is located centered on the façade. Single windows set on either side of the entrance under the porch; an additional set of single windows occupy either far side bay. The second floor is defined by matching paired windows centered in either side bay and a small central single window with latticed panes. A flared hipped roof dormer accented by a triple window sets centered on the front slope. Small arched eyebrow dormer on the eastern roof slope. A tall exterior brick chimney is visible to front on the east elevation; additional chimney at the ridge. Exterior fabric is wood shingle on the lower story, stucco upper. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes exposed rafter tails in the eaves, modest corner boards, belt course and framing.

A garage sets in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 105 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West side. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Orin E. Foster. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-32)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 108 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1915

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

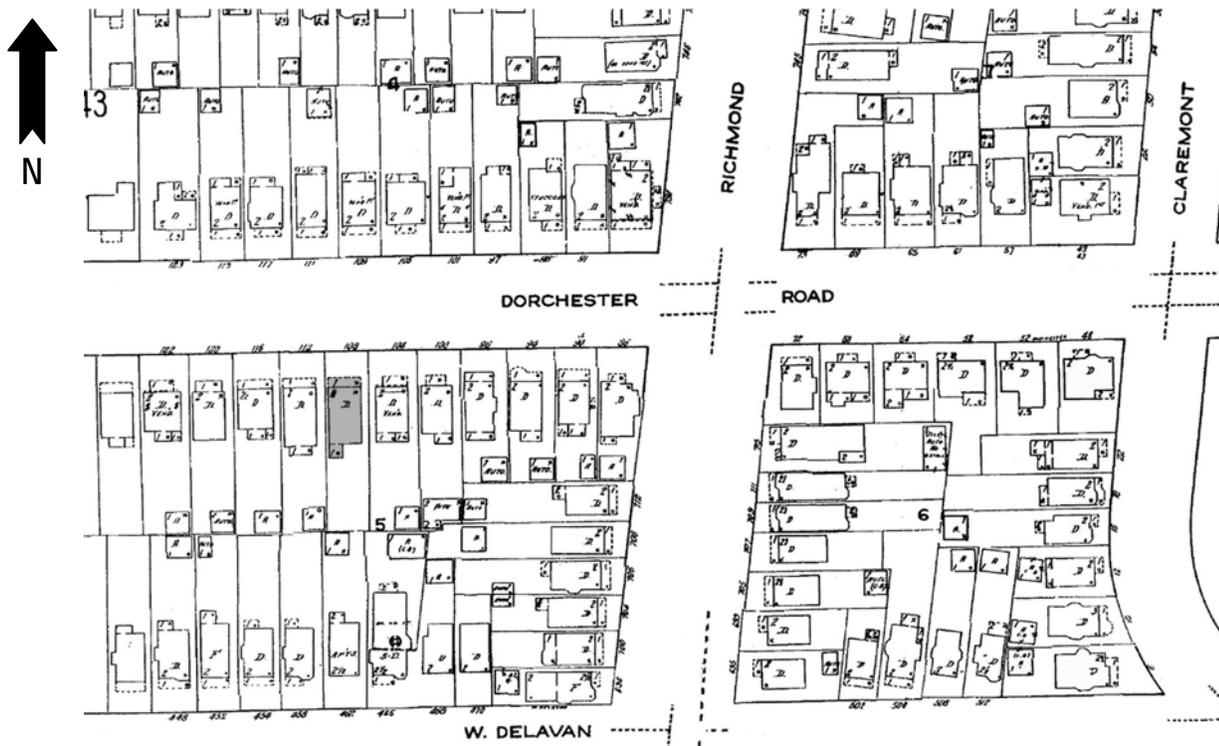
The single family house at 108 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A one-and-one-half story, side gabled, urban Craftsman bungalow residence. It has a shortened rectangular plan. The façade has a full-width porch included under an extension of the main roof, with thick elephantine square columns at the corners, ½-height metal supports set on stucco and capped brick rail that extends to the ground, and an entry stair in the west bay. A large gabled dormer accented by three evenly spaced single windows sets centered on the front slope. Side gable peak punctuated by a paired window. Secondary side entrance awning on the east elevation to the rear. Rear extension to the west. Brick chimney visible at the center ridge, toward the east. Exterior fabric is stucco, with brick on the porch. Fenestration is one-over-one, six-over-one, and nine-over-one double hung wood sash and fixed. Architectural includes wide overhanging eaves with large open knee brackets and modest trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 108 Dorchester Road is significant as a good representative example of a one-and-one-half story, side gabled, urban Craftsman bungalow residence. One of few in the survey area. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-12)







# HISTORIC RESOURCE INVENTORY FORM

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OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 109 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 109 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

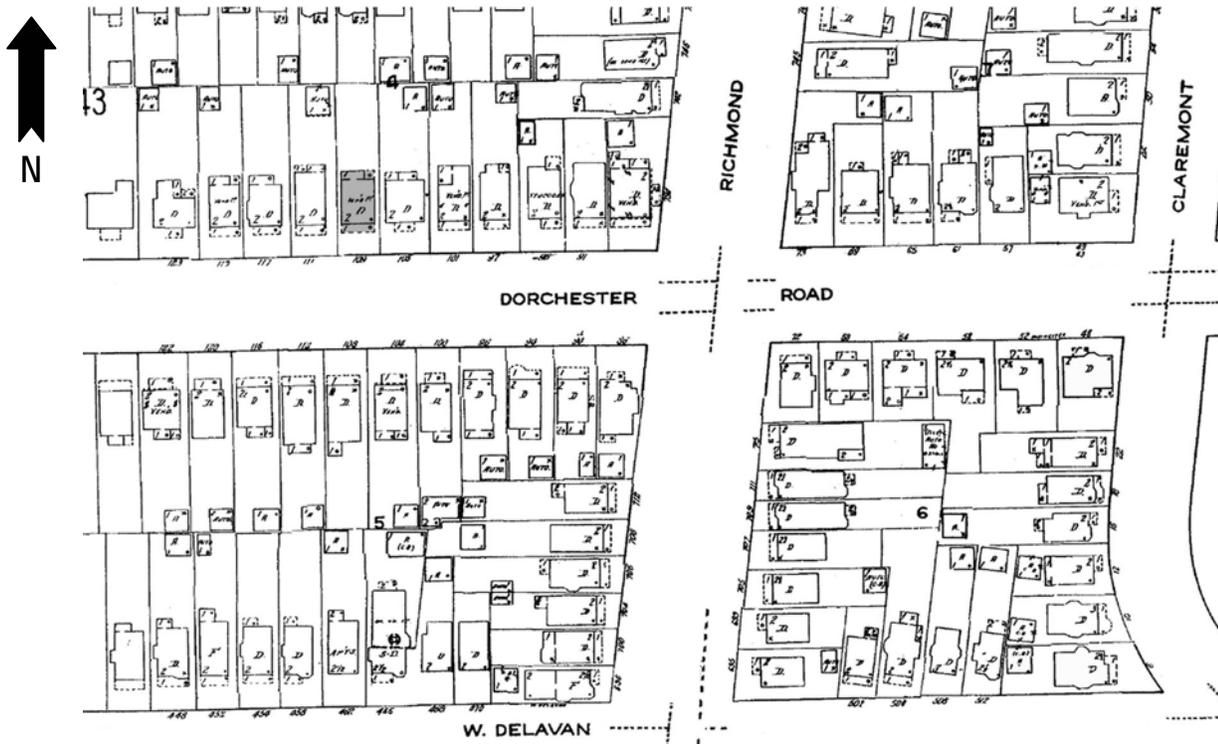
**NON-CONTRIBUTING**

A two-story, flared hipped roofed, urban residence of foursquare influenced design and simple mixed period styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 109 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics to altered vinyl siding. Built for W. H. Lester.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-33)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 111 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known John H. Coxhead Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 111 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

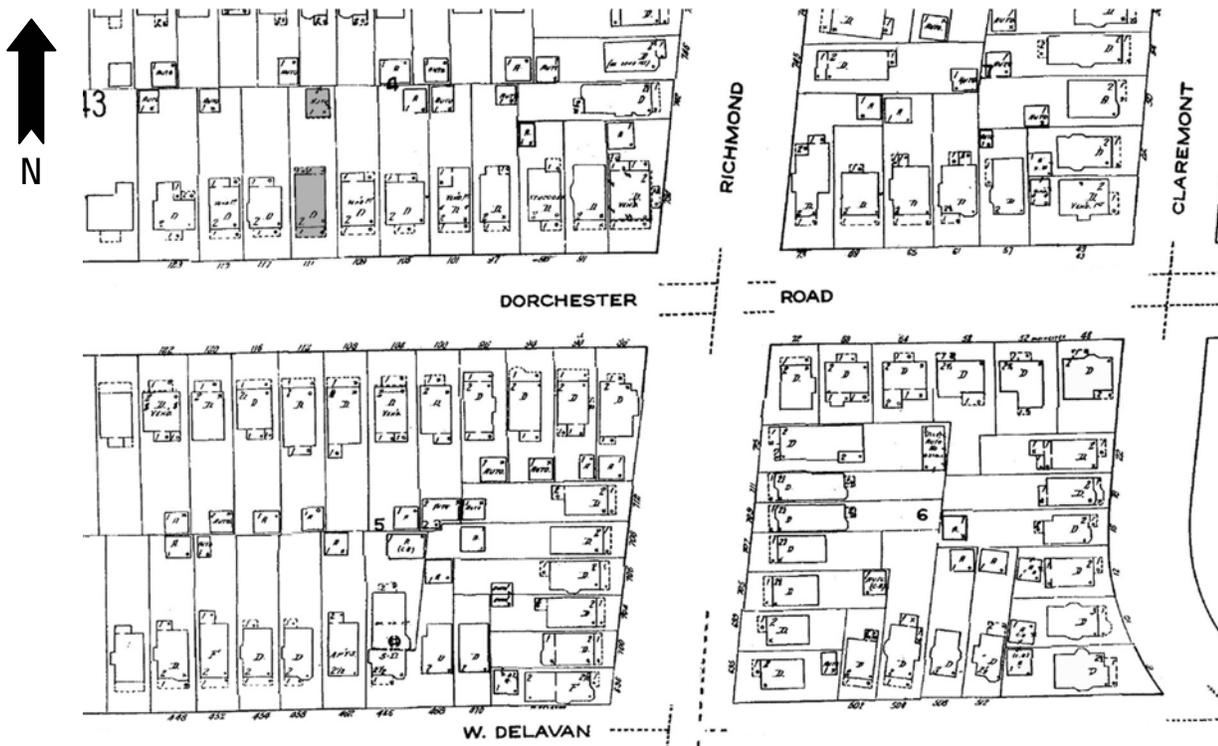
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled urban, frame residence of mixed Colonial Revival design and styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 111 Dorchester Road is significant as a **non-contributing** notable architect designed building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling. Built for Louis G. Schoepflin

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-34)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 112 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 112 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

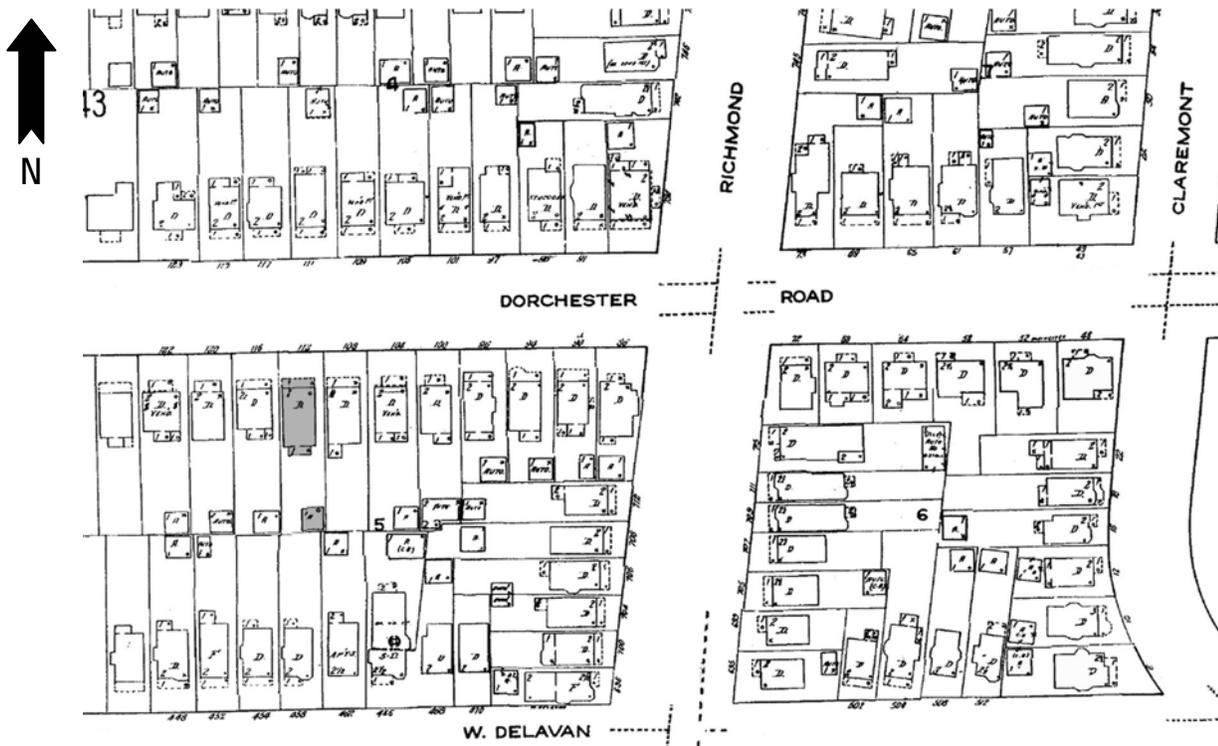
A two-and-one-half story, side gabled urban, frame residence of Colonial Revival design and mixed styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width, hipped roof porch with ¾-height square elephantine columns set on a stone capped solid brick rail, flat frieze, wide eaves with rafter tails, and an entry stair in the west. The modestly framed and side lighted main entrance is located in the west bay of the façade. A small leaded window sets next to the entrance, in the far west bay. Two modestly framed single windows occupy the east bay. The second floor façade has two grouped single windows with similar framing in the west bay, another single window in the east, and a polygonal oriel with windowing in the far east bay that rounds the forward east corner, contained beneath the eave. Two flared hipped roof dormers with single window accents set evenly space on the front slope. Pent enclosed side gable punctuated by paired window. Exterior brick chimney visible to the front on the east elevation, just behind the wrapped oriel. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes exposed rafter tails in the , modest belt bourse, frieze and framing.

A garage sets in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 112 Dorchester Road is significant as a good representative example of two-and-one-half story, side gabled urban, frame residence of Colonial Revival design and mixed styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families in the late nineteenth and early twentieth centuries. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-33)







# HISTORIC RESOURCE INVENTORY FORM

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& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 116 Dorchester Road  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known Charles G. Hudson, bldr Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The single family house at 116 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

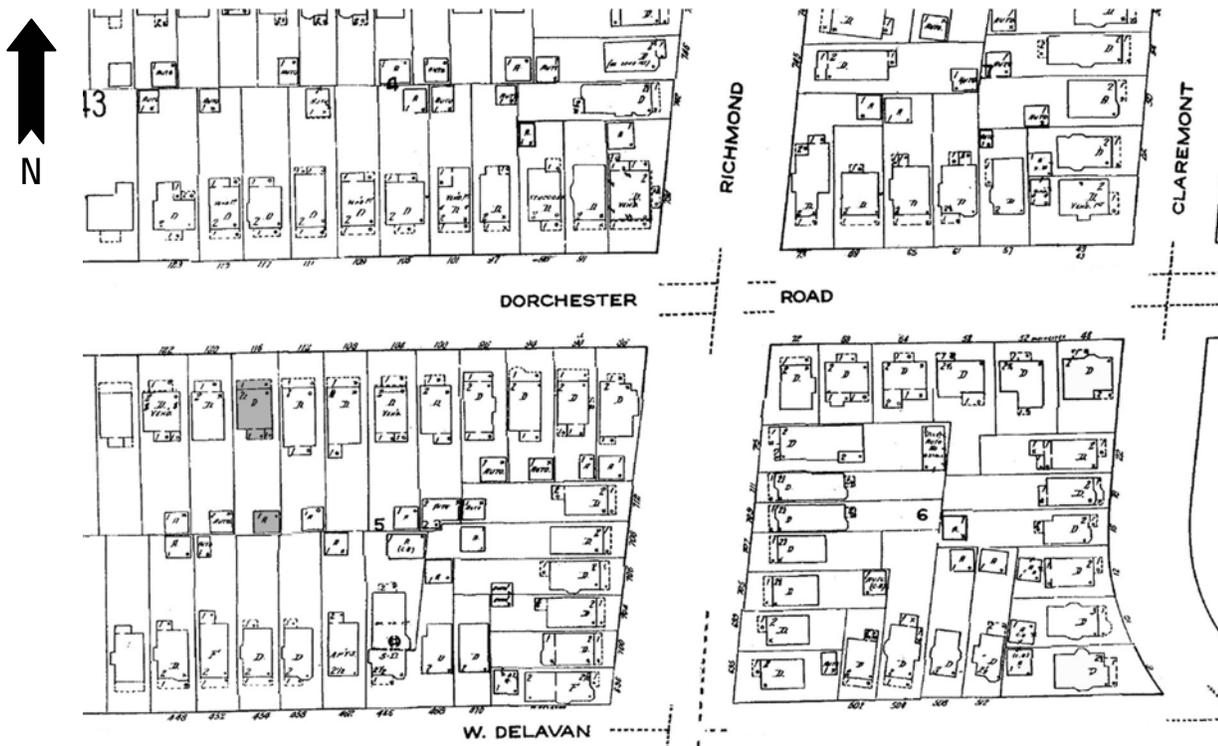
A two-story, flared hipped roofed, urban foursquare residence with mixed period styling, and Craftsman Influenced detail. It has a squared plan and is set on a stone foundation. The façade has a 7/8-width, hipped roof porch to the east with 3/4-height square patterned columns set on brick piers that extend to the ground, spindled wood rail, modest frieze, and a 1/4-width pediment with overhanging eaves with exposed rafter tails to the west over a railed entry stair. The moderately enframed main entrance is located in the west bay of the façade. A large triple window group with similar framing and shuttering occupies the east bay. The second floor is defined by matching paired windows with similar framing and shuttering centered in either side bay and a small central window latticed panes. A gabled dormer accented by small triple ribbon window sets centered on the front slope. Small arched eyebrow dormer on the eastern slope. Brick chimney visible to the rear in the west. Exterior fabric is wood shingle. Fenestration is eight-over-one, six-over-one, four-over-one, and one-over one double hung wood sash and fixed. Additional detailing includes exposed rafter tails in the extended open eaves.

A garage occupies the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 116 Dorchester Road is significant as a good representative example of two-story, flared hipped roofed, urban foursquare residence with mixed period styling, and Craftsman Influenced detail. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Sylvanus B. Nye. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-34)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 117 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Prepared by: Clinton Brown Company Architecture, pc

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Date: 03/2004

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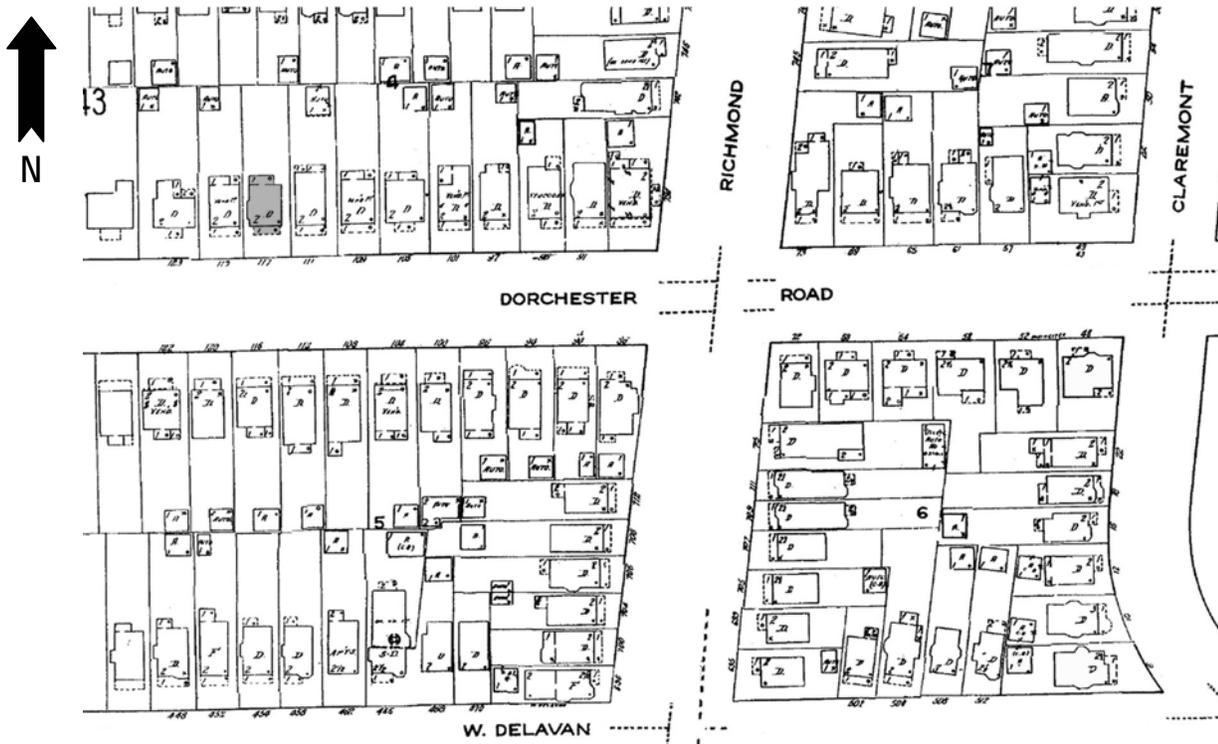
The single family house at 117 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has a squared plan and is set on a stone foundation. The façade has a centered ½-width, hipped roof porch with ¾-height Roman Tuscan column set on capped stone piers, intricate open patterned wood rail, modestly molded frieze, overhanging eaves, and central entry stair. The modestly sidelighted main entrance is located on the façade off center to the west, under the porch. A single window sets to the west of the entrance in the extreme side bay. A large triple window group occupies the east bay of the façade. The second floor is defined by small matching triple windowed polygonal oriels centered in wither side bay. A similar dormer sets on a the eastern roof slope. Small rectangular roofed bay with a large window grouping visible on the east elevation. Tall exterior brick chimney visible to the front of the bay on the east elevation. Exterior fabric is wood clapboard on the lower story, wood shingle upper. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes modest cornice, belt course, and framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 117 Dorchester Road is significant as a good representative example of two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-35)







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County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Frank M. Schurman Date of construction, if known 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 119 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

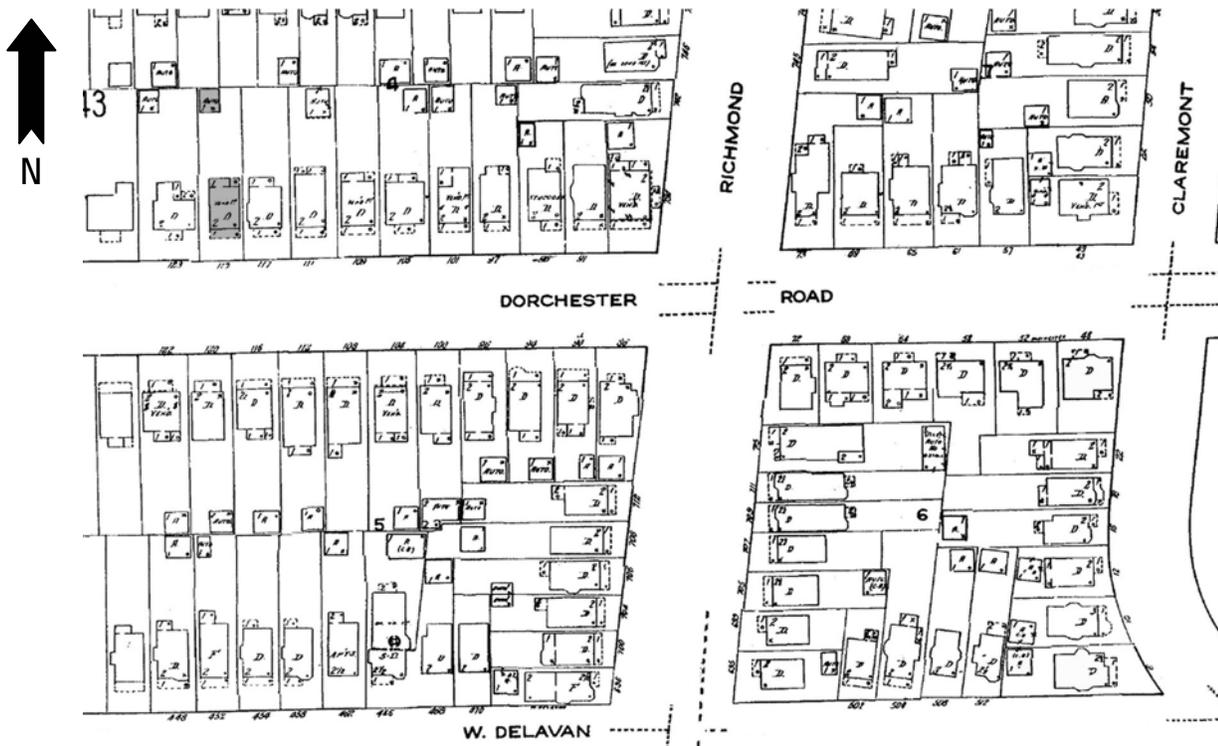
A two-story, hipped roofed, urban residence of foursquare influenced design and mixed period Craftsman styling. It has a squared plan and is set on a brick and stone foundation. The façade has a full-width hipped roof porch with wide capiteled square columns, open wood rail, plain frieze with flattened arch cut-outs, overhanging eaves, and an entry stair to the west. The main entrance is located on the façade off center to the west, set within a small ¼-width enclosed brick vestibule under the porch. A small leaded window sets to the west of the entrance vestibule in the extreme side bay. A large window group occupies the east bay of the façade. The second floor has a small curved oriel with notable leading in the west bay and a single window with upper leading in the east. A hipped roof dormer accented by three small windows with Queen Anne detailing, extended eaves and exposed rafter tails sets centered on the front slope. Similar dormers set on both side roof slopes. Small, bracket supported, rectangular bay with triple window grouping visible on the west elevation. Tall exterior chimney visible to the front of the bay of the west elevation. Exterior fabric is brick on the lower story, wood shingle upper. Fenestration is primarily one-over-one double hung wood sash and fixed, with several transoms and extensive leading.

A garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 119 Dorchester Road is significant as a good representative example of a two-story, hipped roofed, urban residence of foursquare influenced design and mixed period Craftsman styling. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were common on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Charles E. Harris. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-36)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 120 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1914

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 120 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

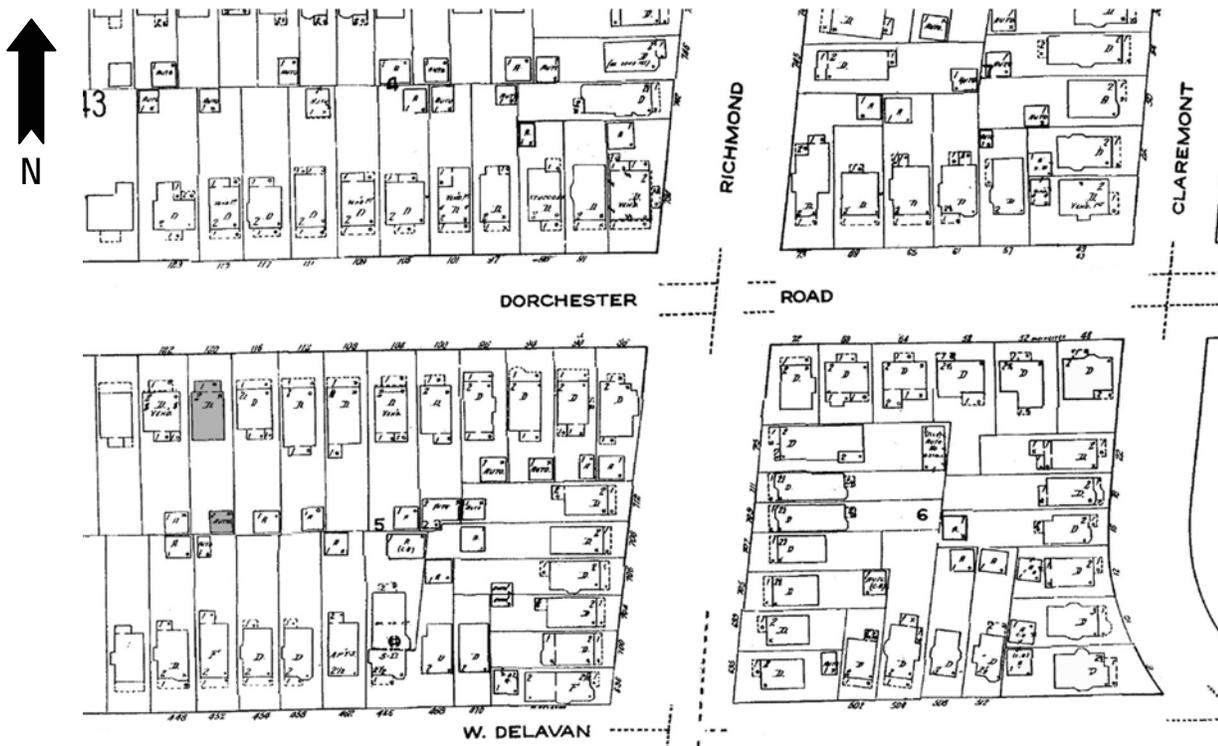
A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has a squared plan and is set on a low stone foundation. The façade has a full-width, flat roofed, enclosed living porch with a clapboard base, elongated multi-paned ribbon windowed upper spaced by 1/2-height, pilasters. Molded frieze and cornice spaced with bracketing, and a French door entrance on the east side. The main entrance is located on the east elevation beneath a large rectangular bracketed oriel with patterned windowing. The second floor is defined by large single windows with shuttering set in either side bay. A hipped roof dormer accented by a small multi-paned triple ribbon window sets centered on the front slope. A large shed dormer sets on the eastern roof slope. Tall exterior brick chimney visible to the front on the west elevation; additional chimney to the rear east. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed, with common multi-paning, 8/1 light on the second story façade. Additional detailing includes extended eaves with exposed rafter tails and subtle framing.

A garage sets in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 120 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period styling. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Leland L. Eaton. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-35)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 122 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 122 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

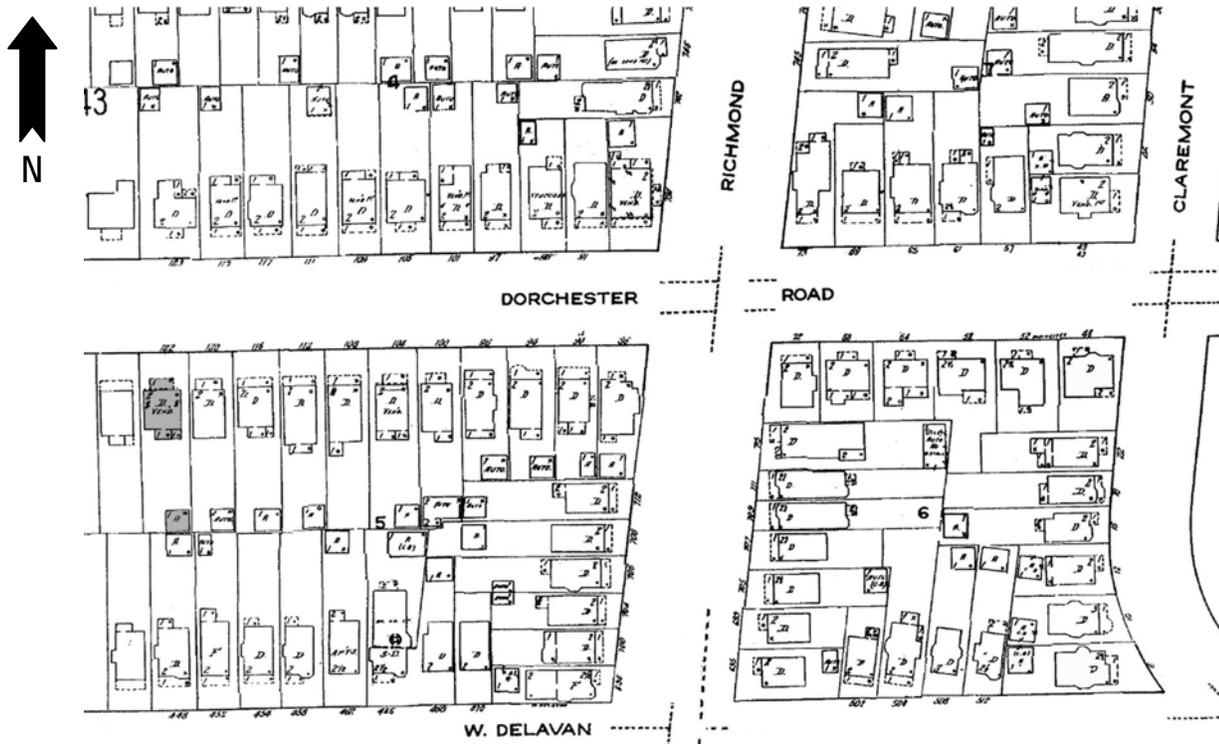
A two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period Colonial influenced styling. It has a squared plan and sets on a low stone foundation. The façade has a centered ¼-width, hipped roof porch with ¾-height Ionic columns set on capped brick piers, open wood rail, modestly molded frieze, and slight overhanging eaves. A modestly framed and side lighted entrance is located centrally on the façade, under the porch. Two single window set on either side of the main entrance, occupying the side bays. The second floor is defined by matching paired windows centered in either side bay and a small centrally located single window. A gabled dormer accented by a triple window and modest verge boards sets centered on the front slope. A similar dormer sets on the eastern roof slope. Side entrance visible on the east elevation; notable bracketed pediment hood over a forward window on the east elevation. Tall exterior brick chimney on the east elevation. Exterior fabric is brick with wood shingle on the dormers. Fenestration is eight-over-one, six-over-one, four-over-one and one-over-one double hung wood sash and fixed, all with stone sills. Additional detailing includes extended eaves.

A garage occupies the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 122 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and mixed period Colonial influenced styling. Modestly styled urban singles and doubles of varying design, such as this, were common housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne were most common on the West Side this street is one of the few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for the Dorchester Improvement Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-36)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 123 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Frank H. Chappelle Date of construction, if known 1907

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 123 Dorchester Road is set on a widened standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

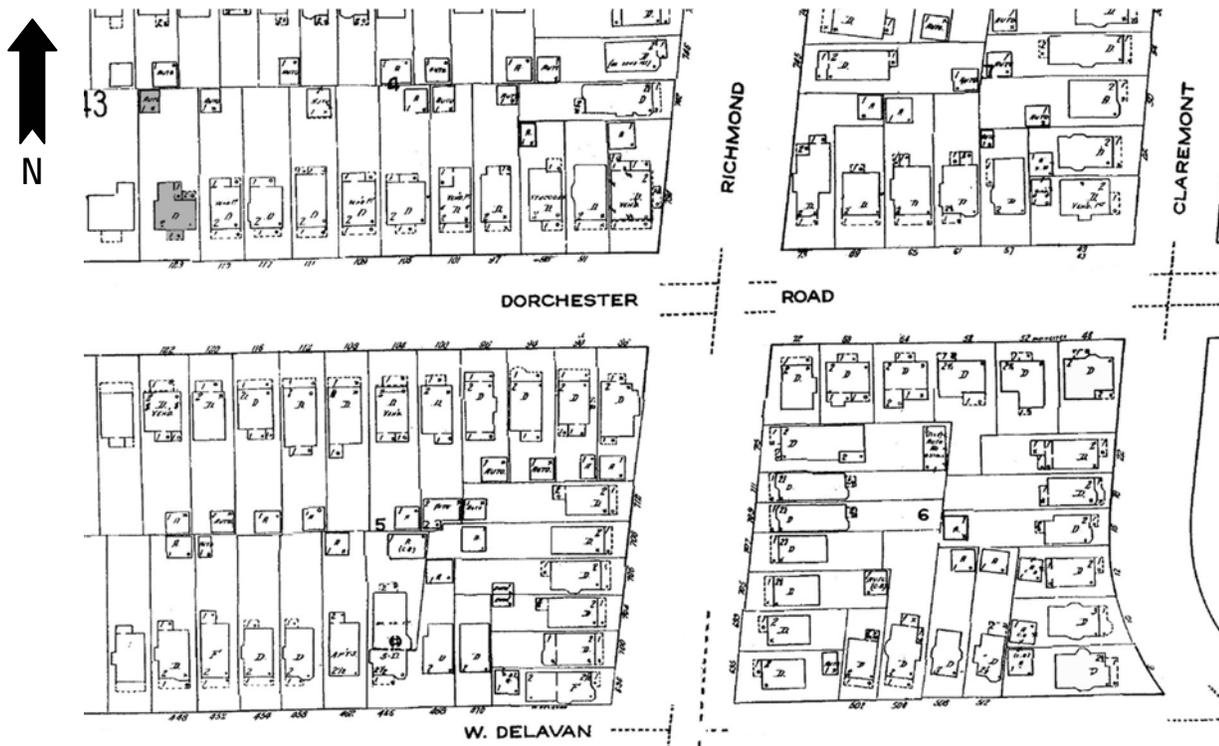
A two-and-one-half story, side gabled urban, residence of fine Colonial Revival style. It has a roughly rectangular plan with main horizontally oriented regular block and rear extension to the west. It is set on a stone foundation. The façade has a centered, 1/2-width, pedimented porch with fluted Ionic columns, low spindled wood rail, notable entablature with wide frieze, dentils and lookouts; and a central entry stair. The framed and sidelighted main entranceway is located centered on the façade, under the porch. A single window occupies the side bays of the lower façade on either side of the porch. The second floor façade is defined by simple even spaced o the front roof slope. Pent enclosed side gables punctuated by regular windowing. Rear section of residence not included under the main side gables. Exterior wall fabric is wood clapboard. Fenestration is nine-over-one and one-over-one double hung wood sash and fixed. Large brick chimneys visible at the ridge to east and on eh rear section. Additional detailing includes wide frieze, cornice, dentils, decorative molding, lookouts modest belt course and framing.

A small garage sets in the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 123 Dorchester Road is significant as a good representative example of an architect designed, two-and-one-half story, side gabled urban, residence of fine Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side, and this street, in particular, has a concentration of foursquare and Craftsman influenced dwelling, indicative of the slightly late building period. Built for Orin E. Foster. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-10; N-37)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 124 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Emerson C. Dell Date of construction, if known 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

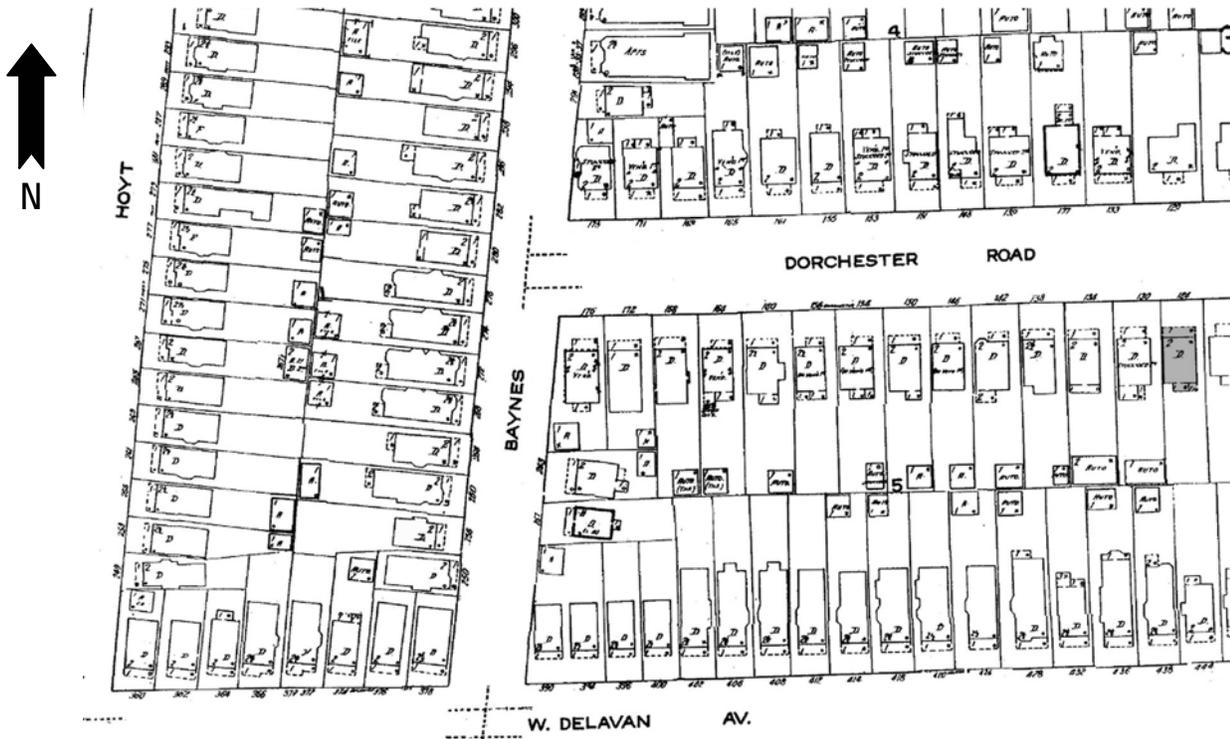
The single family house at 124 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roofed, urban residence of foursquare influenced design and mixed period styling. It has shortened rectangular plan and is set on a stone foundation. The façade has a full width, shed roof porch; eastern 2/3-width enclosed living porch with a large, shuttered triple window group, slight overhanging eaves, and notable frieze space with molding and small brackets; western 1/3 –width entry porch of similar styling with square clapboard covered columns, solid clapboard rail and wide entry stair. The main entrance is located in the west bay of the façade under the entry porch. A single sets to the west of the entrance in the extreme side bay under the porch. The second floor is defined by matching single windows with shuttering centered in either side bay. A flared hipped roof dormer accented by a small multi-paned triple window and extended eaves with bracketing sets centered on front slope. A similar dormer sets on the west roof slope. First story, roofed, projecting rectangular bay on the west elevation to the rear; several notable second story oculus visible on the west elevation as well. A brick chimney sets on the east roof slope. Exterior fabric is wood clapboard, with stucco and aggregate on the enclosed porch. Fenestration is eight-over-one, six-over-one, four-over-one and one-over-one double hung wood sash and fixed, with multi-panes. Additional detailing includes a notable frieze and cornice with molding and bracketing and modest framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale’s history as a resort community, a structure associated with activities of the “underground railroad.”); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 124 Dorchester Road is significant as a good representative example of an architect designed, two-story, hipped roofed, urban residence of foursquare influenced design and mixed period styling. Moderately styled singles and doubles of varying design, such as this, were common housing for middle and more modest upper class families of the late nineteenth and early twentieth centuries, though those of heavy Queen Anne influence were most common on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for the Dorchester Improvement Co. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-4; N-37)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 129 Dorchester Road  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1915

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 129 Dorchester Road is set on a widened standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

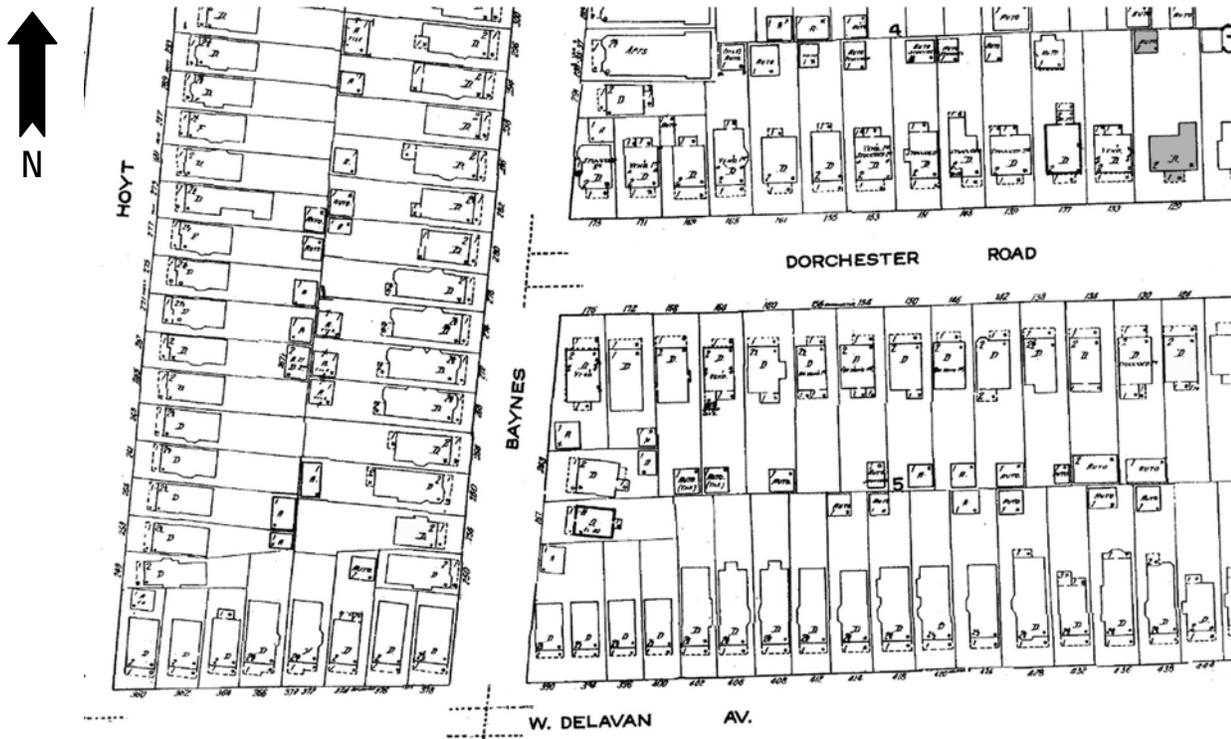
A two-and-one-half story, side gabled, urban residence of Colonial Revival style. It has a rectangular plan with a main horizontally oriented rectangular block and a rear extension in the east. It is set on a brick and stone foundation. The façade has a centered, ¼-width, pedimented porch with paired square columns, low open wood rail, moderate frieze, molding and dentil ornament in the pediment, and a central entry stair. The framed and sidelighted main entranceway is located centered on the façade, under the porch. Paired windows occupy the side bays of the lower façade on either side of the porch. The second floor façade is defined by matching paired windows with shuttering centered in either side bay and a central shuttered single window. Three pedimented dormers with window accents rest evenly spaced on the front roof slope. Side gables punctuated by regular windowing. Rear section of residence not included under the main side gable. Exterior wall fabric is wood clapboard. Fenestration is primarily eight-over-one and one-over-one double hung wood sash and fixed. Brick chimneys visible at the ridge at either side. Additional detailing includes noted frieze with molding and modest trim and framing.

A garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 129 Dorchester Road is significant as a good representative example of a two-and-one-half story, side gabled, urban residence of Colonial Revival style. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side, and this street, in particular, has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-1)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 130 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known William H. Boughton Date of construction, if known 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 130 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

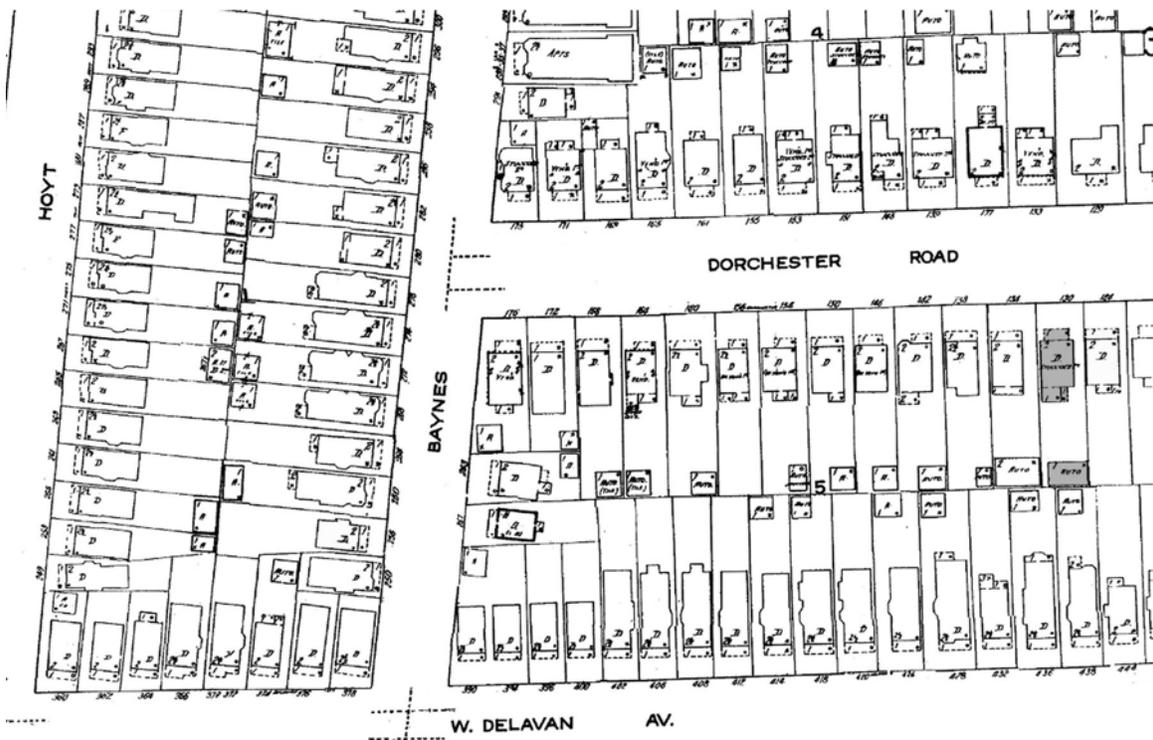
A two-story, flared hipped roofed, urban frame residence of foursquare influenced design and mixed period Craftsman styling. It has a shortened rectangular plan. The façade has ¾-width, flat roofed, enclosed living porch to the east, with a patterned panel wood base set on a brick and stone foundation, continuous ribboned window upper, large elephantine columns at the corners, and wide extended eaves. The main entrance is located on the west elevation, within a small, windowed vestibule. The second floor façade is defined by matching larger single windows with shuttering centered in either side bay. A flared hipped roof dormer accented by small triple window sets centered on the front slope. A similar dormer sets on the west roof slopes. Brick chimney visible west roof slope to the front of the dormer. Exterior fabric is wood clapboard with stucco on the upper portion. Fenestration is primarily one-over-one double hung wood sash and fixed, with occasional multiple panes. Additional detailing includes notable wide open eaves with exposed rafter tails and modest trim.

A large garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 130 Dorchester Road is significant as a good representative example of an architect designed, two-story, flared hipped roofed, urban frame residence of foursquare influenced design and mixed period Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Clarence A. Wicker. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-1)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 133 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Charles G. Hudson, bldr Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

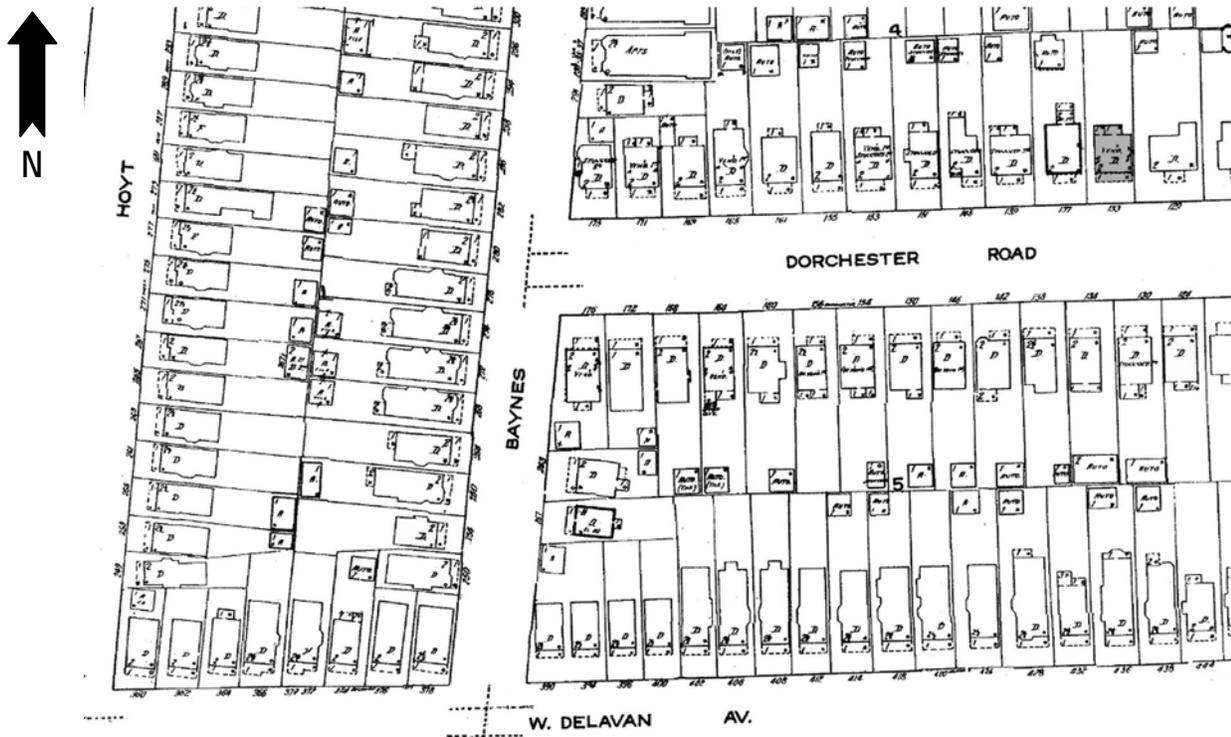
The single family house at 133 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. It has a squared plan. The façade has a full-width, hipped roof, open porch with ¾-height ionic column supports set on a stone capped brick piers that extend down into the foundation, stone capped brick rail, modest frieze, extended eaves, and a central railed entry stair. The modestly sidelighted main entrance is centrally located on the façade under the porch. Matching paired windows set in the side bays to either side of the entrance. The second floor façade is defined by matching triple windowed polygonal oriels entered in either side bay and a centered slim single window. A flared hipped roof dormer accented by triple window sets centered on the front slope. A similar dormer sets on the west roof slope. Small upper story roofed projection with windowing visible on the west elevation. Tall exterior brick chimney visible on the east elevation. Exterior fabric is brick with wood shingle on the dormers and projections. Fenestration is primarily one-over-one double hung wood sash and fixed, with subtle stone sills; 4/1 lights in the dormer windows. Additional detailing includes open eaves with exposed rafter tails and modest trim.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 133 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Frank R. Johnson. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-2)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 134 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 134 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

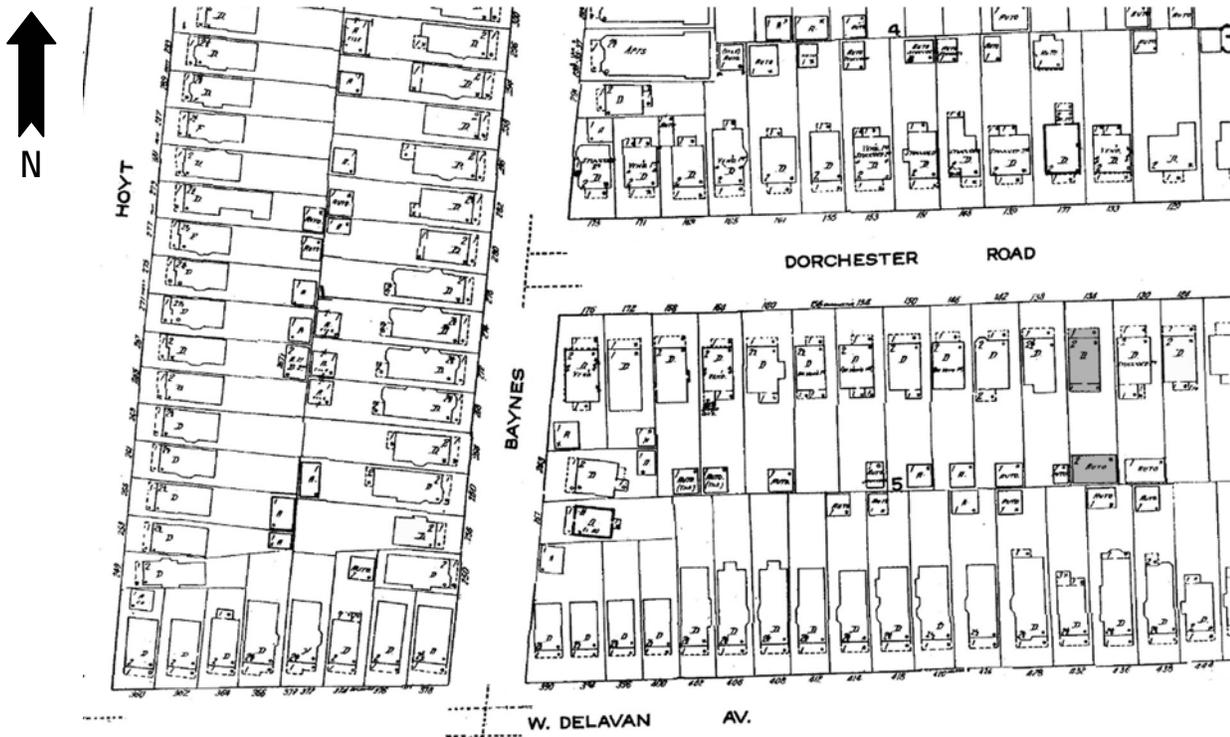
A two-and-one-half story, front gabled, urban frame residence of Queen Anne style. It has a shortened rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed, open porch with Ionic columns, spindled wood rail, wide frieze with modest upper molding, and entry stair to the east. The modestly enframed and sidelighted main entrance is located in the east bay of the façade; set within a small vestibule projection. A small window sets to the east of the entrance in the extreme side ay. A large triple window group occupies the west bay. The second floor façade is defined by matching triple windowed polygonal oriels centered in either side bay, contained beneath the projecting gable end. A Palladian window with lattice-work and leading punctuates the decoratively shingled front gable end. Additional side entrance on the east elevation beneath a bracketed upper story, shallow, rectangular projection that continues upward into the roofline, forming a slightly projecting gabled dormer, small roofed and bracketed windowed oriel to the front on the east elevation. Several braick chimneys visible. Exterior fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes notable corner pilasters, wide frieze, bracketing and trim.

A large cross-gabled outbuilding with small cupola occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 134 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban frame residence of Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, on the West Side, though this street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-2)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 137 Dorchester Road  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known Green & Wicks Date of construction, if known 1914

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 137 Dorchester Road is set on a widened standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

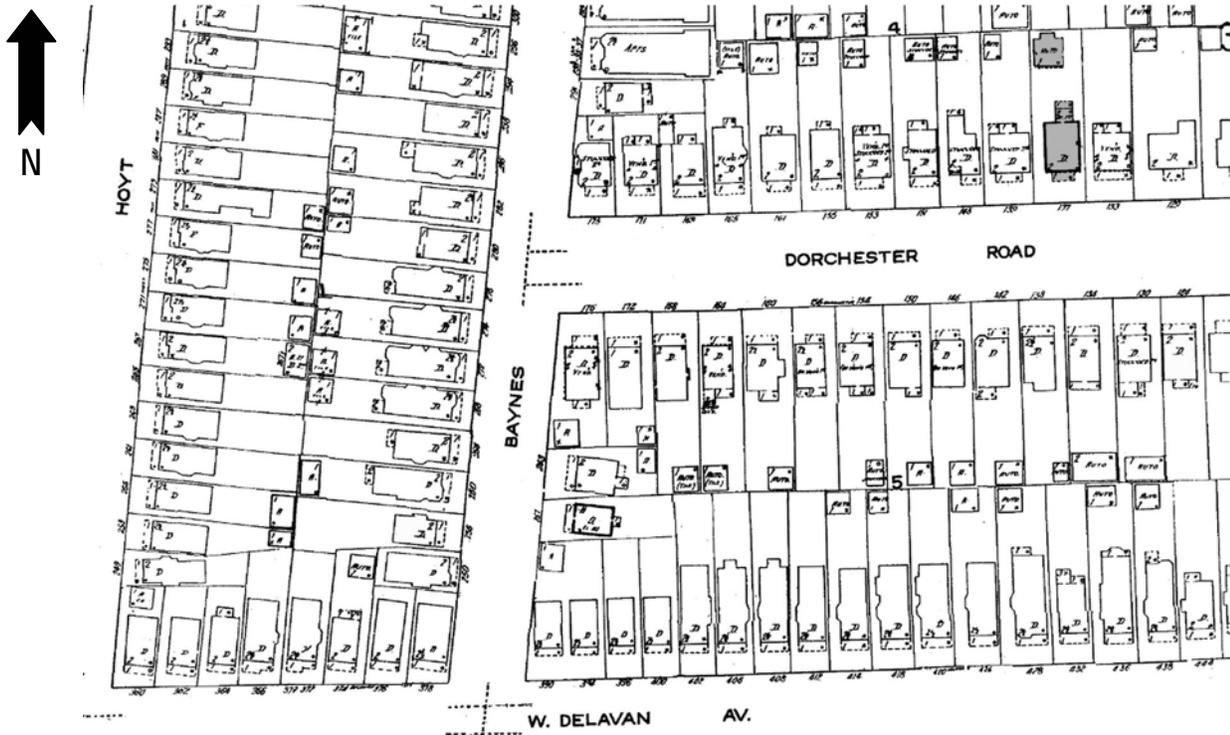
A two-and-one-half story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. It has shortened rectangular plan with a central rear extension. The façade has a centered ¾-width, flat roofed, open porch with slender Ionic columns, intricately patterned open wood rail, and modest frieze. Large framed and sidelighted French doors are located centrally on the façade, under the porch. The main entrance is located on the west elevation, beneath an entry vestibule of similar style to the porch. The second floor façade is defined by matching large single windows with shuttering centered in either side bay. A small flared hipped roof dormer accented by a slender single window sets centered on the front slope. A similar dormer sets on the west roof slope. Tall exterior brick chimneys visible on the east elevation. Exterior fabric is largely stucco. Fenestration is six-over-six, four-over-four and one-over-one double hung wood sash and fixed, with brick sills and arched surround observable on the façade. Additional detailing includes open eaves, exposed rafter tails and notable brick quoins at the corners.

A small flat roofed garage sets in the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 137 Dorchester Road is significant as a good representative example of a notable architect designed, two-and-one-half story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling. Styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Edmund Thomas. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-3)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 138 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1917

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 138 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

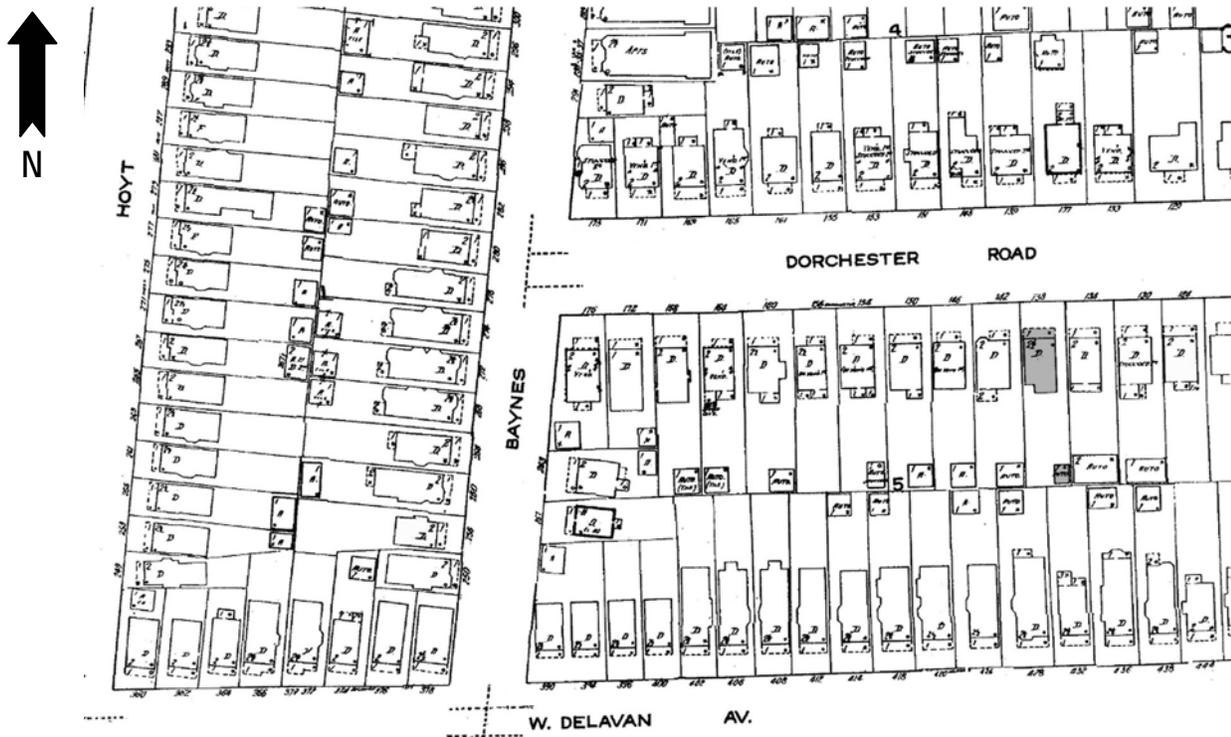
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and simple vernacular Craftsman styling. It has a shortened rectangular plan with a small rear extension. It is set on a low stone foundation. The façade has a full-width, hipped roof, open porch with square trimmed elephantine column supports, open wood rail, no entablature, slightly extended eaves, and a railed entry stair to the east. The framed main entrance is located on the façade off center to the east, set within an enclosed rectangular vestibule. A single window sets to the east of the entrance in the extreme side bay. Two evenly spaced single windows set in the west bay. The second floor façade is defined by symmetric single windowing with shutters. A flared hipped roof dormer accented by a small double window sets centered on the front slope. A small shed roof dormer sets on the western roof slope. Tall exterior brick chimney visible to the front on the west elevation. Exterior fabric is largely stucco. Fenestration is nine-over-one, six-over-one, and one-over-one double hung wood sash and fixed. Additional detailing includes wide eaves, modest frieze, belt course, and trim.

A small garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 138 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and simple vernacular Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for John H. Zook. A Contributing building to the Richmond Avenue-Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-3)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 139 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 139 Dorchester Road is set on a widened standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

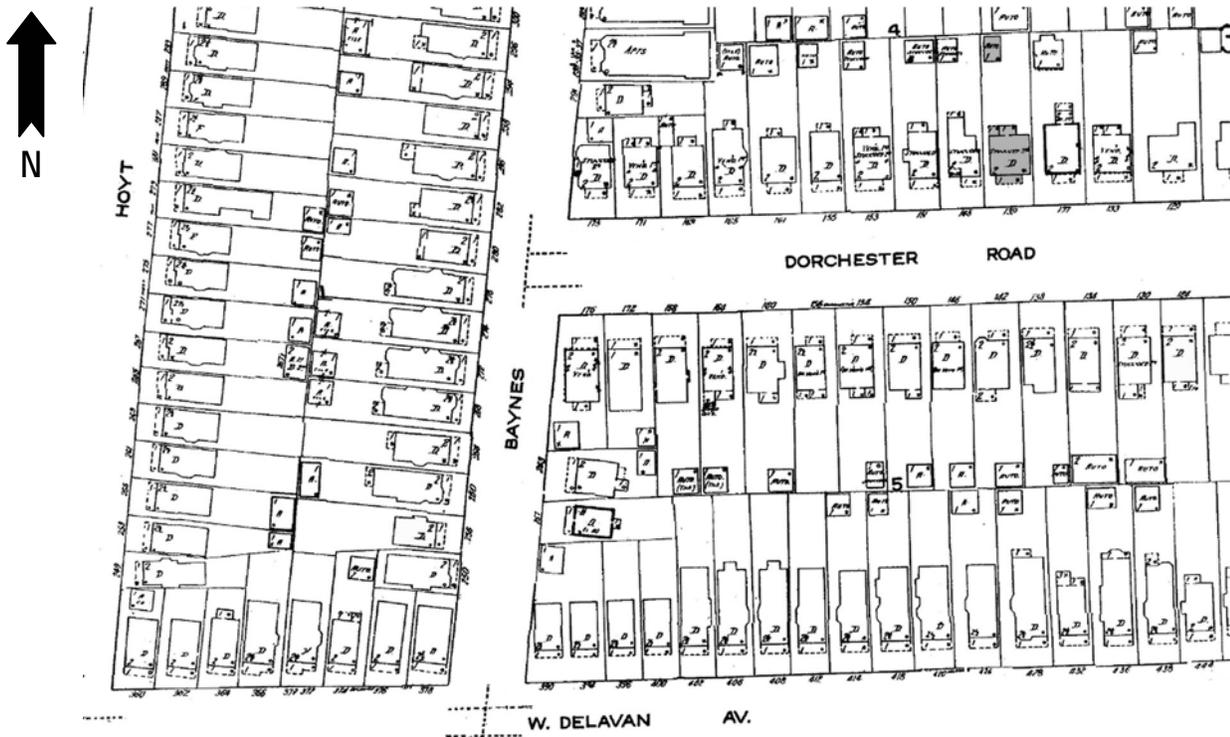
A two-story, flared hipped roofed, urban residence of foursquare influenced design and period Craftsman styling. It has a squared plan with a small rear extension in the west. It is set on a stone foundation. The façade has a centered ½-width, hipped roof porch with square columns, open wood rail, plain frieze, extended eaves, west side enclosure, and a central entry stair. The modestly framed and sidelighted main entrance is located centered on the façade, under the porch. Single windows set on either side of the entrance under the porch; an additional set of single windows occupy either far side bay. The second floor is defined by matching paired windows centered in either side bay and a small central single window. A flared hipped roof dormer accented by triple window sets centered on the front slope. A tall exterior brick chimney is visible to the front on the east elevation. Exterior fabric is wood shingle on the lower story, stucco upper with extensive framing. Fenestration is eight-over-one, six-over-one, four-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes exposed rater tails in the eaves, modest corner boards, belt course and framing.

A small garage sets in the rear west corner.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 139 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare influenced design and period Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Sylvanus B. Nye. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-4)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 142 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 142 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

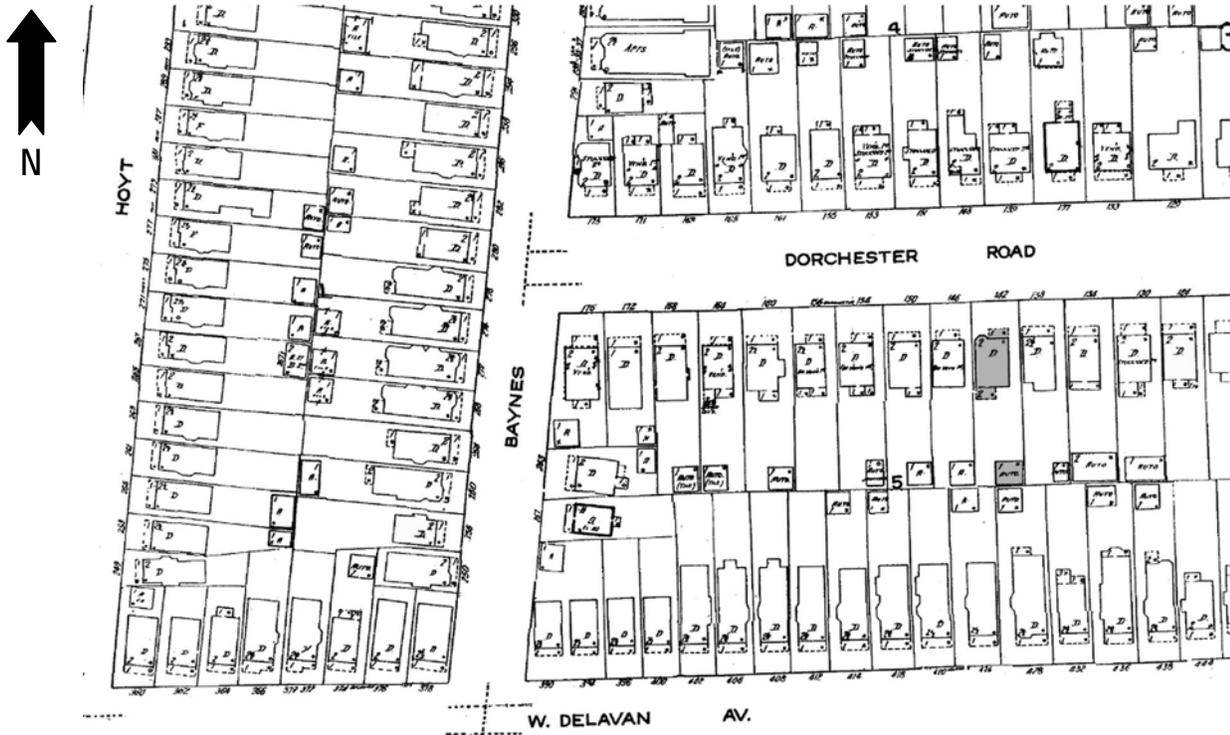
A two-and-one-half story, front gabled, urban, frame residence of mixed period Queen Anne influenced style. It has shortened rectangular plan and is set on a stone foundation. The façade has a 2/3-width, hipped roof, open porch with ¾-height square column supports set on patterned wood posts, open wood rail, plain frieze with low arched cut-outs, west side enclosure, and a metal railed entry stair in the west. The main entrance is located centrally on the façade, beneath the porch. A paired window sets in the east bay. The west bay is dominated by a two-story, roofed, polygonal bay with tiered triple windowing. The second floor façade is marked by a small central bracketed and roofed polygonal oriel. An unusual shed roof dormer sets on the east roof slope; a small gabled dormer sets further to the rear. Tall chimney visible at the lower front corner of the east roof slope. Exterior fabric is wood shingle. Fenestration is primarily one-over-one and one-over-two double hung wood sash and fixed. Additional details include frieze and cornice molding, subtle brackets, verge boards and trim.

A garage occupies the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 142 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of mixed period Queen Anne influenced style. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Charles R. Phipps. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-4)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 145 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known c. 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco with aggregate

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 145 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

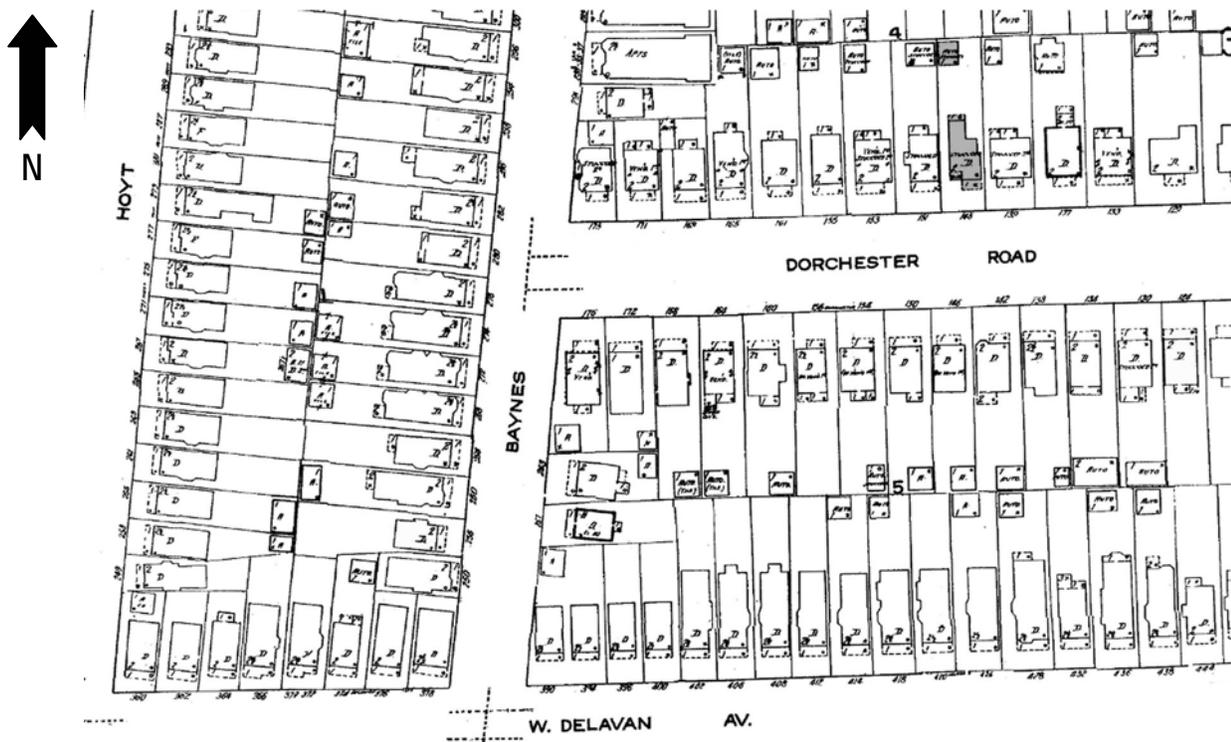
A two-story, flared hipped roofed, urban residence of initial foursquare influenced design and Craftsman styling. It has a rough L-shaped plan with squared main block and a large extension to the rear in the west. The façade has 2/3-width, hipped roof, open porch to the east, with 3/4-height slender square column supports grouped with decorative lattice and open woodwork, stone capped brick rail that extends down into the foundation, plain frieze with flattened arch cutouts, and extended eaves. The main entrance is located in a small enclosed entry porch recessed in the far west bay of the façade with an arched entry and side opening and a small stair. A large elongated multiple window group sets in the east bay of the façade under the porch. The second floor façade has a triple window group in the east bay and a unique angled oriel in the west, and is marked by extensive framing. A low flared hipped roof dormer with window accent sets centered on the front slope. A similar dormer sets on the west roof slope. Tall exterior brick chimney visible on the east elevation; additional chimney to the rear on the lower west slope. Exterior fabric is stucco with aggregate and lower brick work. Fenestration is twelve-over-one, six-over-one, six-over-six, four-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes wide eave, exposed rafter tails, belt course, and trim.

A garage sets in the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 145 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of initial foursquare influenced design and Craftsman styling. Styled urban singles of varying Queen Anne influence, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, on the West Side, though this street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-5)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 146 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1913

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

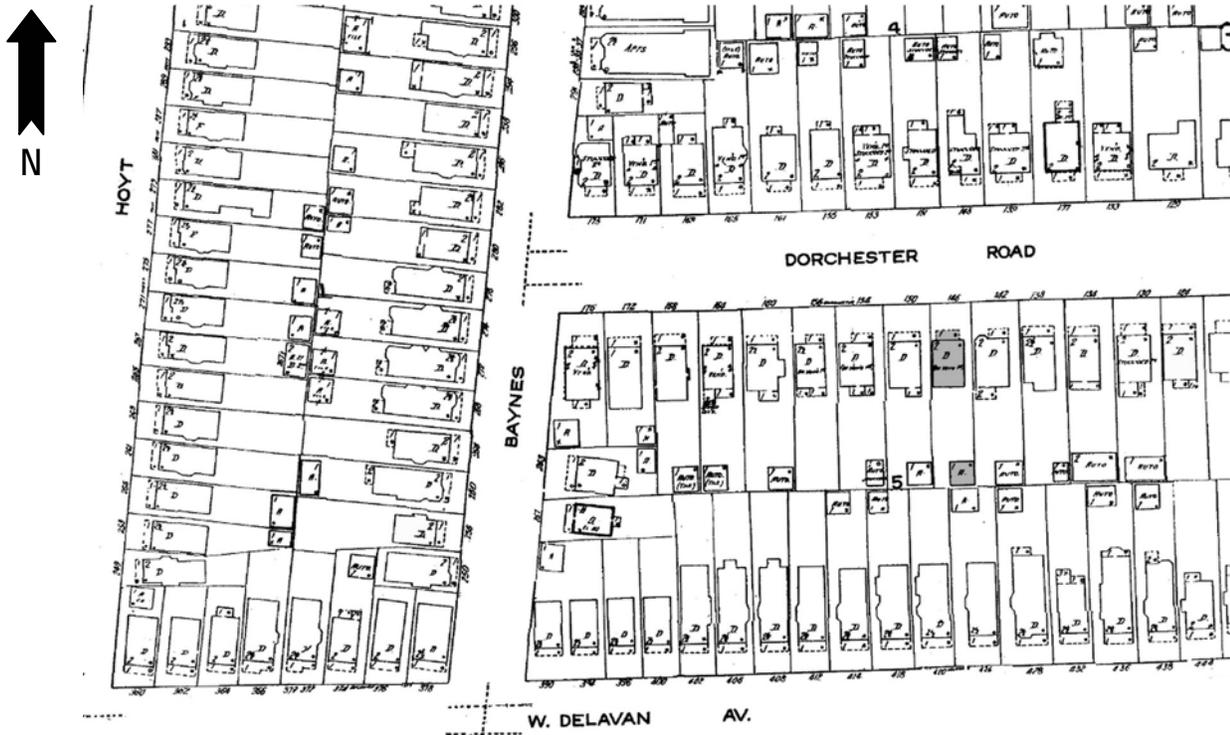
The single family house at 146 Dorchester Road is set on a standard lot. Located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, flared hipped roofed, urban residence of foursquare design and modest period Craftsman styling. It has a squared plan and is set on a stone foundation. The façade has a centered 7/8-width, flat roofed, enclosed living porch with symmetric triple window groups along the front, paired windowing at the sides, wide frieze space and extended eaves with visible rafter tails. The main entrance is located on the east elevation beneath a supported hipped roof awning. The second floor is defined by a central paired window and single windows set in either side bay. A gabled wall dormer accented by verge boards and a small double window sets centered on the front slope, interrupting and continuing through the roofline. Tall exterior brick chimney visible to the front on the west elevation. Exterior fabric is brick on the lower story and stucco upper. Fenestration is three-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes extended eaves with exposed rafter tails, belt course, and subtle framing.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 146 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of foursquare design and modest period Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Frank C. Buso. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-5)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 150 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 150 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

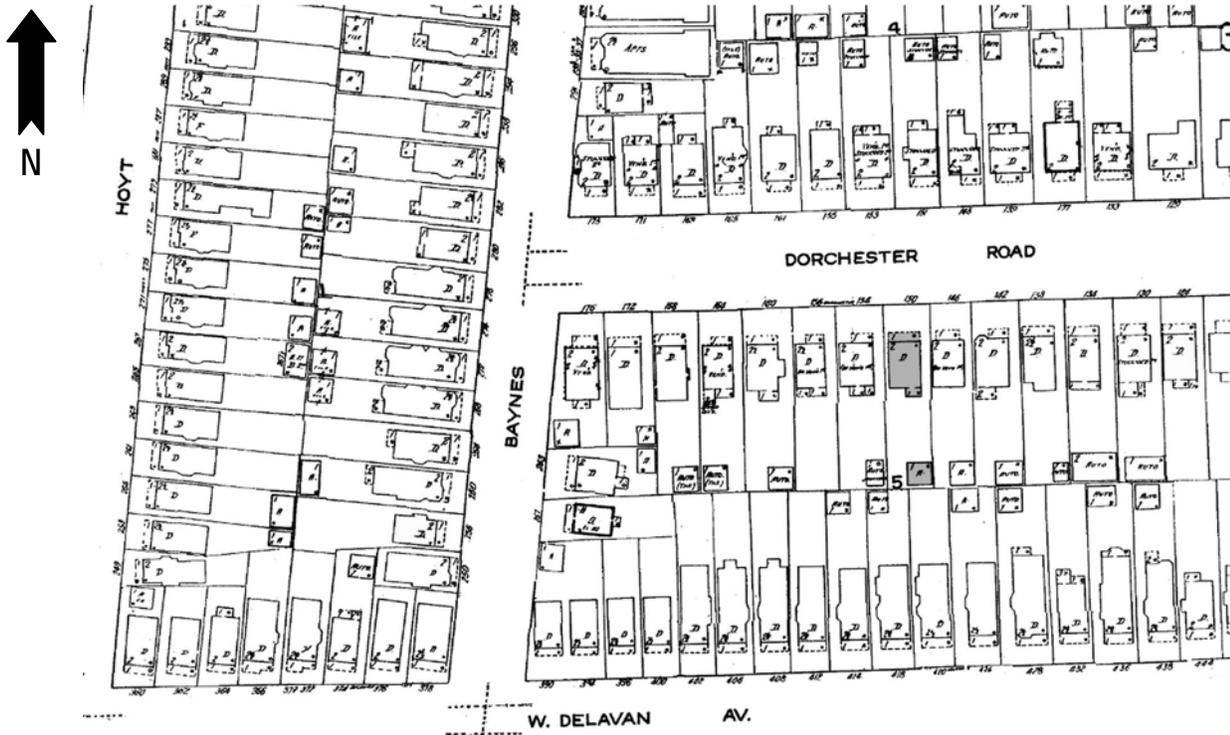
A two-story, flared hipped roofed, urban frame residence of foursquare influenced design and mixed period styling and detail. It has a squared main block with a small shed roof lean-to extension at the rear in the east. It is set on a stone foundation. The façade has a full-width, flat roofed, open porch with ¾-height Ionic column supports set on capped stone piers and solid rail that extend down into the foundation, modest frieze, extended eaves with exposed rafter tails, and a central entry stair. The modestly enframed and sidelighted main entrance is located on the façade off center to the east. A slim single window with similar enframent sets to the east of the entrance in the far side bay. A triple window group with similar enframent occupies the west bay. The second floor façade has a rectangular oriel in the east bay and a polygonal oriel in the west, both with triple windowing. A flared hipped roof dormer accented by a triple window group sets centered on the front slope. A similar dormer sets on the west roof slope. Small first story roofed bay with windowing visible on the west elevation. Tall exterior brick chimney visible to the front on the west elevation. Exterior fabric is wood clapboard and shingle. Fenestration is twelve-over-one, six-over-one, and one-over-one double hung wood sash and fixed. Additional detailing includes wide eaves with exposed rafter tails, modest belt course and trim.

A garage occupies the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 150 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban frame residence of foursquare influenced design and mixed period styling and detail. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for John C. Pagels. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-6)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 151 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Emerson C. Dell Date of construction, if known 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 151 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

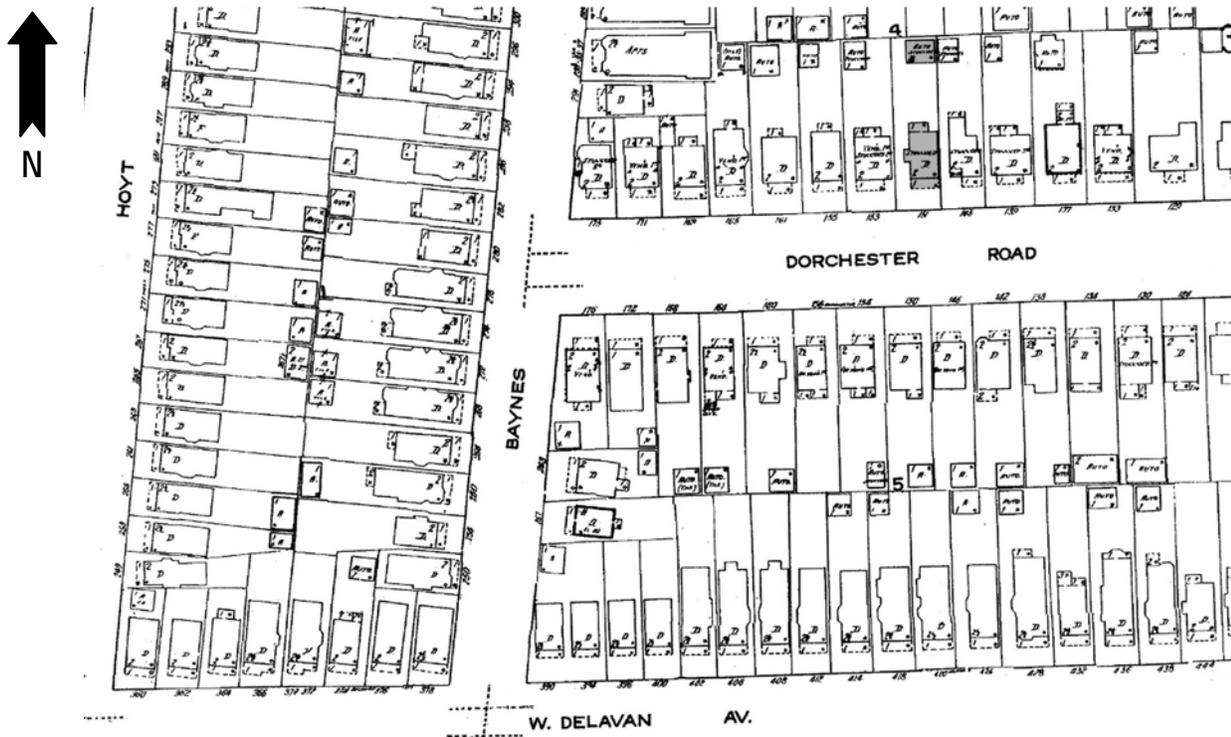
A two-and-one-half, side gabled, urban residence with mixed Colonial and Craftsman styling. It has a rough shortened plan and is set on a stone foundation. The façade has a full-width, flat roofed, enclosed living porch with a patterned wood panel base, elongated multi-paned ribbon windowed upper spaced by full-height slender square elephantine columns, and modestly molded frieze space and cornice with bracketing. The main entrance with ornamented awning is located on the west elevation, set in the front face of a multi-story, side gabled, projecting bay. Additional entrance at the rear of the projection. The second floor façade is defined by matching rectangular oriels with paired windows set in either side bay. A gabled dormer accented by a small triple window sets centered on the front slope. Exterior fabric stucco. Fenestration is nine-over-one, six-over-one, and one-over-one double hung wood sash and fixed, with multi-paning. Additional detailing includes notable verge boards and bracketing.

A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 151 Dorchester Road is significant as a good representative example of an architect designed, two-and-one-half, side gabled, urban residence with mixed Colonial and Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for the Dorchester Improvement Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-6)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 153 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 153 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

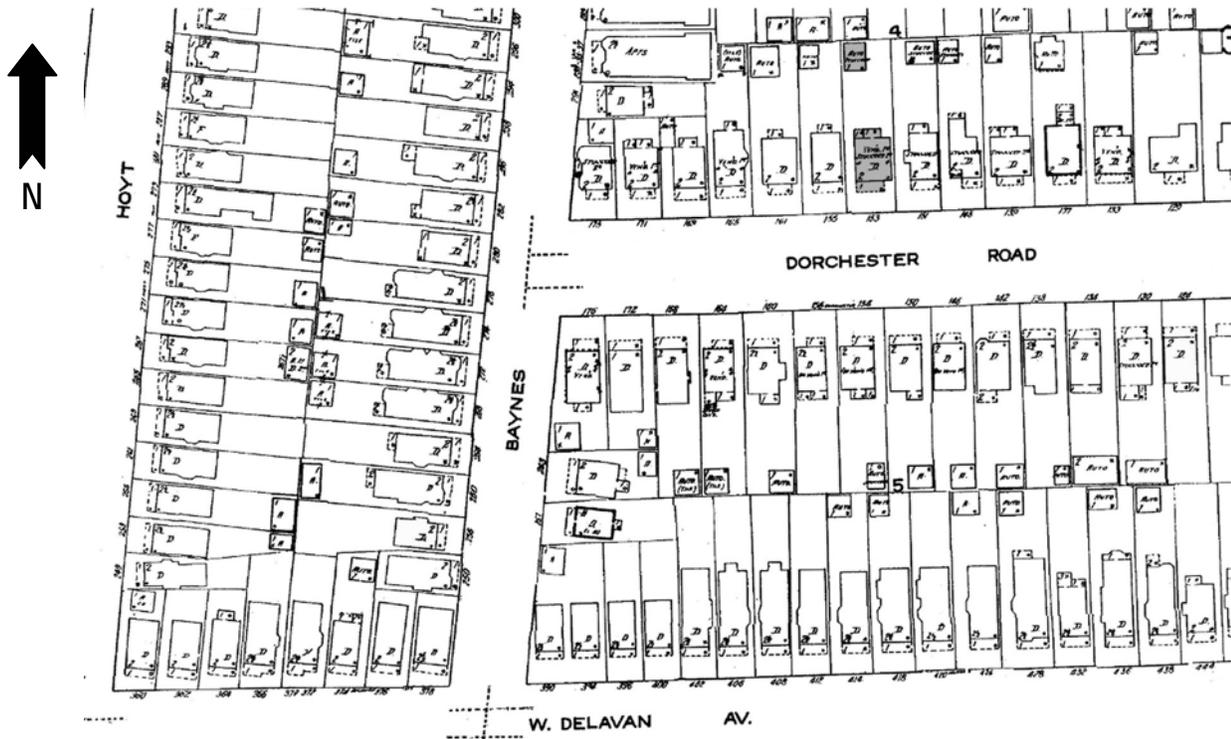
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and Prairie influenced Craftsman styling. It has a squared main block with a small extension at the rear in the west, the façade has a ¾-width, hipped roof, open porch to the west, with square brick columns and solid capped brick rail that extended over and into the foundation, west side enclosure, plain frieze, extended eaves with exposed rafter tails, and a metal railed central entry stair. The main entrance is located on the façade off center to the west, set within a shallow brick vestibule. A single window sets to the west of the entrance in the far side bay. Two even spaced single windows set in the west bay. The second floor façade is defined by matching shallow rectangular oriels with paired windows centered in either side bay. A low flared hipped roof dormer accented with lattice paned triple windowing sets centered on the front slope. A similar dormer sets on the west roof slope. Small first story, roofed bay window visible to the front on the west elevation. Tall exterior brick chimney to the front on the west elevation. Exterior fabric is on the lower story, stucco upper. Fenestration is eight-over-one and one-over-one double hung wood sash, casement and fixed. Additional detailing includes wide eaves with exposed rafter tails, modest belt curse and trim.

A garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 153 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and Prairie influenced Craftsman styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Dorchester Improvement Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-7)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_  
Address or Street Location 154 Dorchester Road  
County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_  
Owner \_\_\_\_\_ Address \_\_\_\_\_  
Original use Residential Current use Residential  
Architect/Builder, if known Emerson C. Dell Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other stucco	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 154 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

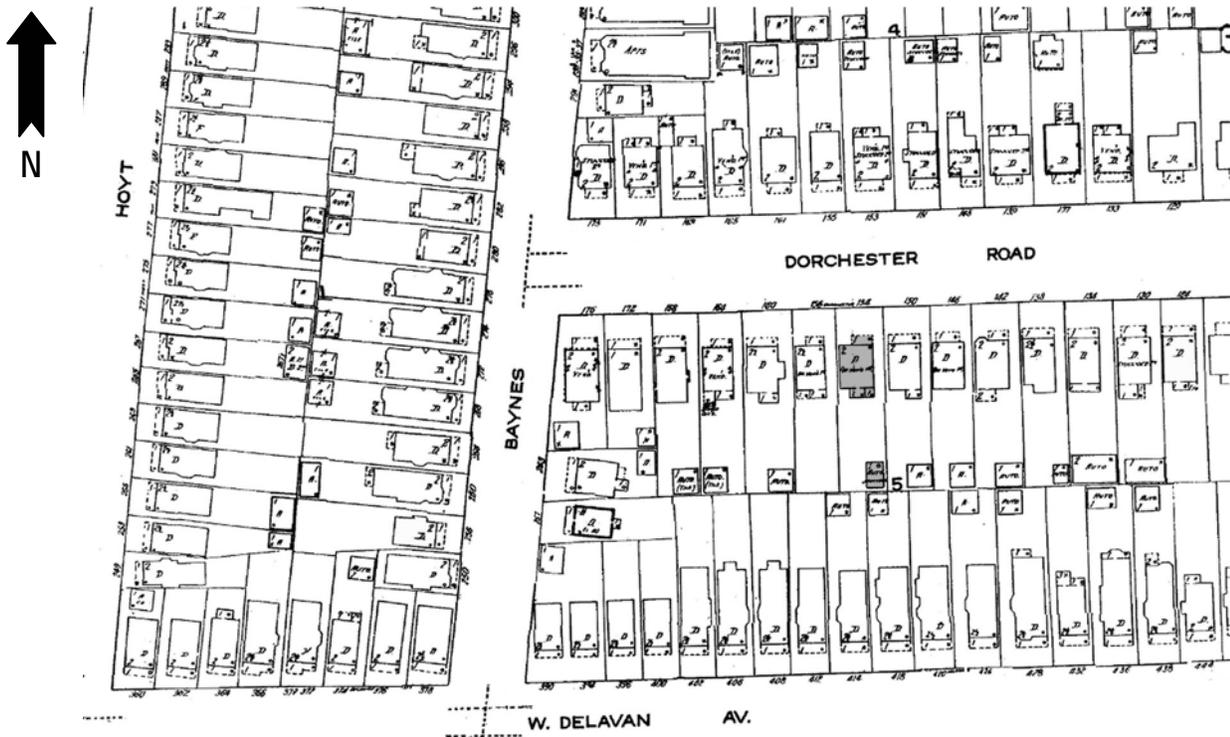
A two-and-one-half story, flared front gabled, urban residence of mixed period styling and modest chalet influenced detail. It has a rough shortened rectangular plan and is set on a low stone foundation. The façade has a ¾-width, flat roofed, open Craftsman brick porch to the east, with square brick columns and solid capped brick rail that extend down into the foundation, west side enclosure, plain frieze, extended eaves, and metal railed central entry stair. The main entrance is located on the façade off center to the east, set within a shallow brick vestibule. A single window sets to the east of the entrance in the far side bay. Two evenly space single window set in the west bay – one under the porch, one not. The second floor façade is defined by matching paired windows centered in either side bay and a slim central single window. The gable end is punctuated by a triple window with moderate surround accented with bracketed mullions and medallions. A small gabled dormer with framed window and awning accents sets on the east roof slope. Slightly projecting roofed rectangular bay and small roofed polygonal bay window visible to the fronton the east elevation. Tall brick chimney to the front on the west roof slope. Exterior fabric is brick on the lower story, stucco with notable half timbering on the upper stories, dormers and projections. Fenestration is six-over-one and one-over-one double hung wood sash, casement, and fixed with multiple panes and lattice work; large stone lintels on the lower story. Additional detailing includes belt course and framing and open eaves with shaped rafter tails.

A garage sets in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 154 Dorchester Road is significant as a good representative example of an architect designed, two-and-one-half story, flared front gabled, urban residence of mixed period styling and modest chalet influenced detail. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Dorchester Improvement Co. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-7)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 155 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Matthew J. Hudson, bldr Date of construction, if known 1912

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 155 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

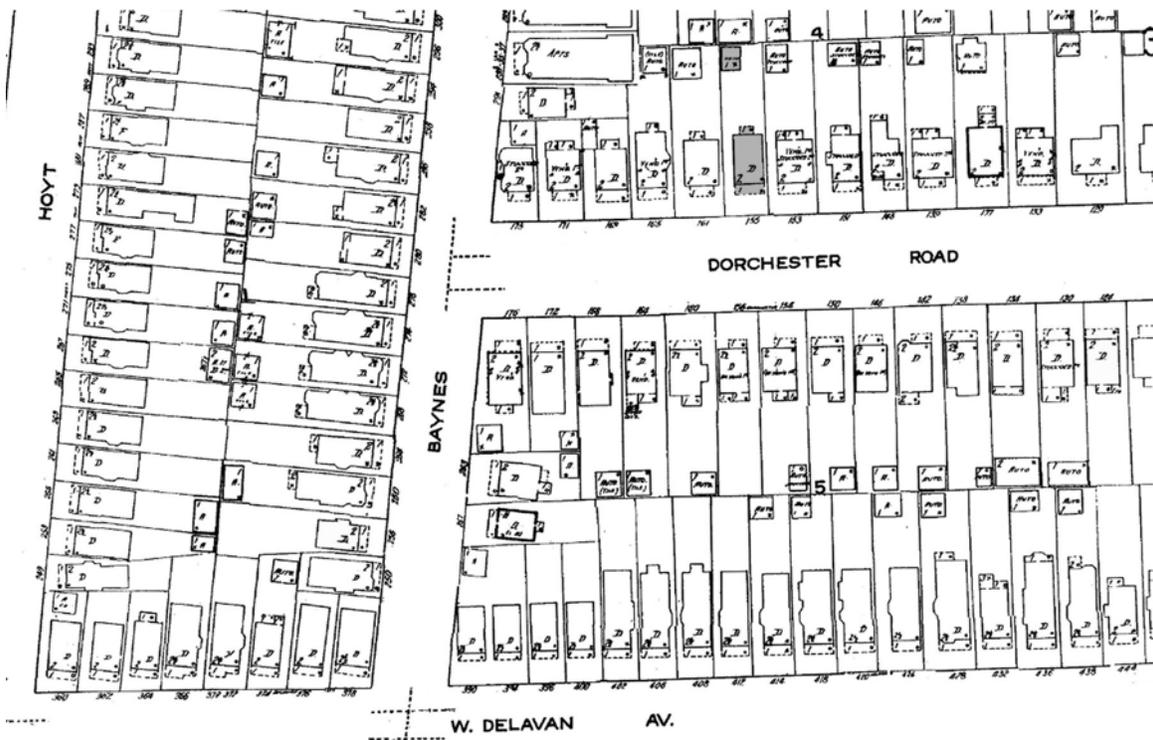
A two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling with limited Craftsman inspired detail. It has a shortened rectangular plan is set on a low stone foundation. The façade has a full-width, flat roofed, open porch with large square patterned and bracketed capital wood columns that extend to the ground, spindled wood rail atop a low clapboard base, wide frieze space with arched cut-outs, extended eaves, and west side entry. The framed main entrance is located on the façade off center to the west. A large window group occupies the east bay. The second façade is defined by matching paired windows centered in either side bay. A low flared hipped roof dormer accented with triple windowing sets centered on the front slope. A smaller dormer of similar design sets on the west roof slope. Exterior fabric is wood clapboard. Fenestration is four-over-one and one-over-one double hung wood sash and fixed, with some leading. Additional detailing includes wide eaves and modest trim.

A garage occupies the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 155 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, frame residence of foursquare influenced design and mixed period styling with limited Craftsman inspired detail. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Albert E. Burgers. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-8)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 156 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

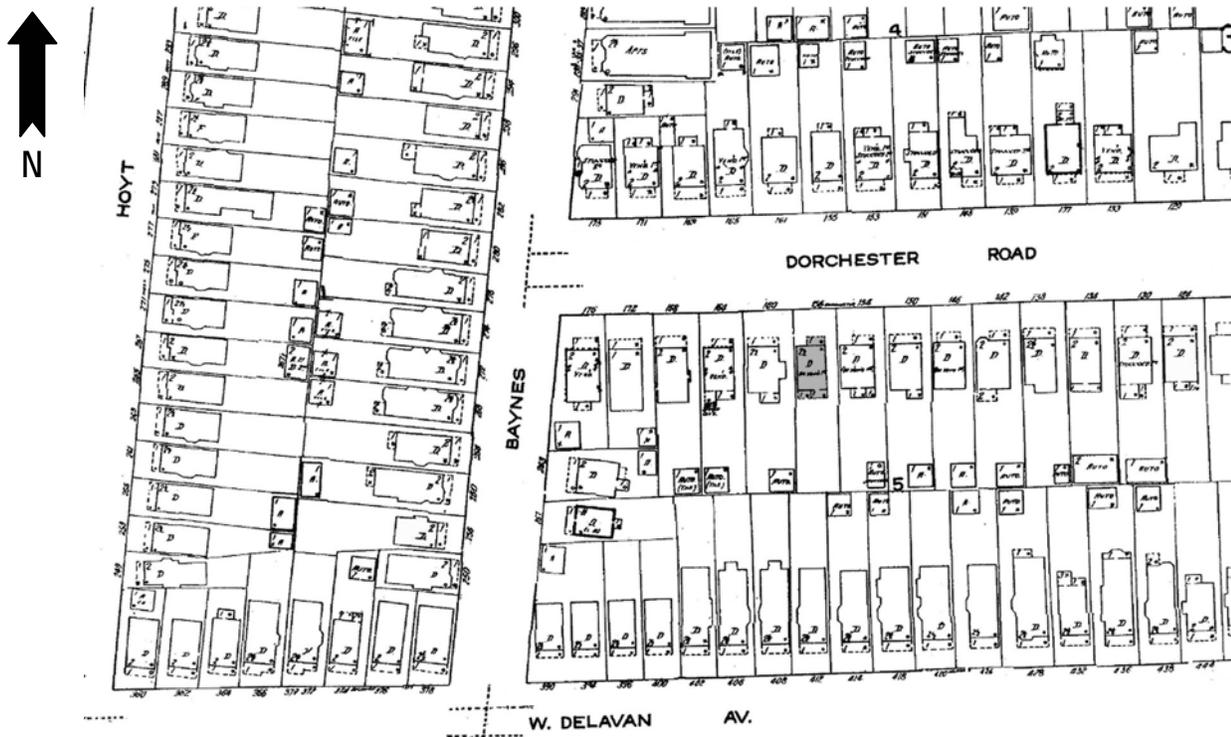
The single family house at 156 Dorchester Road is set on a standard lot, located on the south side of street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roofed, urban brick and frame residence of foursquare design and simple mixed period styling. It has a shortened rectangular plan and is set on a low stone foundation. The façade has a ¾-width, flat roofed, open porch to the east, with continuous brick supports and rail with modest caps, arched openings, extended eaves with exposed rafter tails, and a metal railed entry stair in the east. The main entrance is located on the façade off center to the east, set within a shallow brick vestibule. A single window sets to the east of the entrance in the far side bay. Two even spaced single windows set in the west bay – one under the porch, one not. The second floor façade is defined by a small rectangular oriel with paired window centered in the east bay and matching paired window centered in the west side bay. A hipped roof dormer accented with a double window sets centered on the front slope. A similar dormer sets on the east roof slope. Small first story, roofed, rectangular bay visible on the west elevation. First story extension to the rear. Tall exterior brick chimney visible to the front on the west elevation. Exterior fabric is brick on the lower story, wood shingle on the upper story, dormers, and projections. Fenestration is six-over-one, four-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes modest belt course, frieze, and small visible rafter tails.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 156 Dorchester Road is significant as a good representative example of a two-story, hipped roofed, urban brick and frame residence of foursquare design and simple mixed period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built fro Sylvanus B. Nye. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-8)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 160 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 160 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

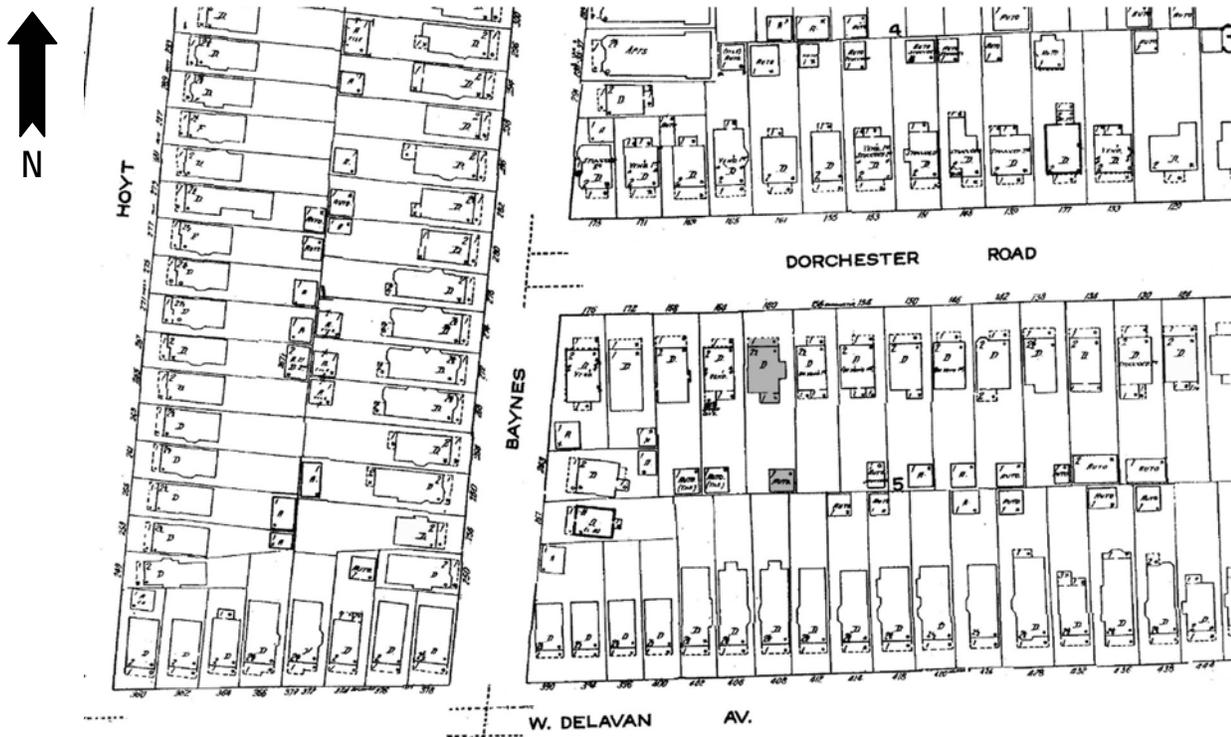
A two-story, flared hipped roofed, urban residence of modified foursquare influenced design and mixed period Prairie influenced styling. It has a rough squared plan with a square main block and small rear extension to the east. It is set on the stone foundation. The façade has a centered 7/8-width, flared hipped roof porch with thick square shingled elephantine columns, open wood rail, and extended eaves. A modestly framed and sidelighted French door entrance is located centrally on the façade, under the porch. The main entrance with notable bracketed hood is located on the face of a two-story flared roof rectangular bay on the east elevation. An additional side entrance with awning sets to the rear of the bay. The second floor is defined by matching shallow rectangular oriels with paired windows centered in either side bay. A flared hipped roof dormer accented by a single window sets centered on the front slope. A similar dormer sets on the eastern slope. Tall brick chimneys on the east roof slope to either side of the dormer. Exterior fabric is wood shingle. Fenestration is six-over-one and one-over-one double hung wood sash and fixed. Additional detailing includes modest framing and extended eaves.

A garage occupies the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 160 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban residence of modified foursquare influenced design and mixed period Prairie influenced styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for the Buffalo Building Co. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-9)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 161 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1911

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 161 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

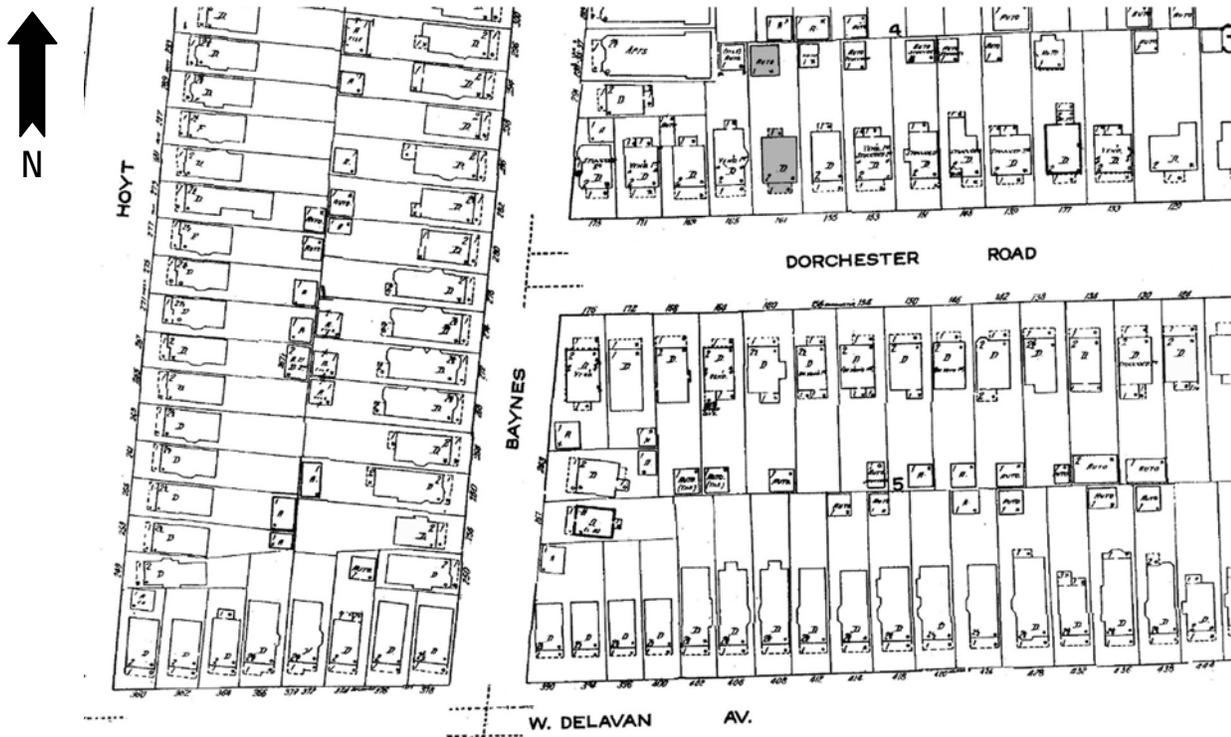
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban residence of simple colonial influenced design and mixed period styling.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 161 Dorchester Road is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains some of its initial styling and character, despite the changes in exterior fabrics. Built for Clarence A. Wicker.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-9)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 164 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 164 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

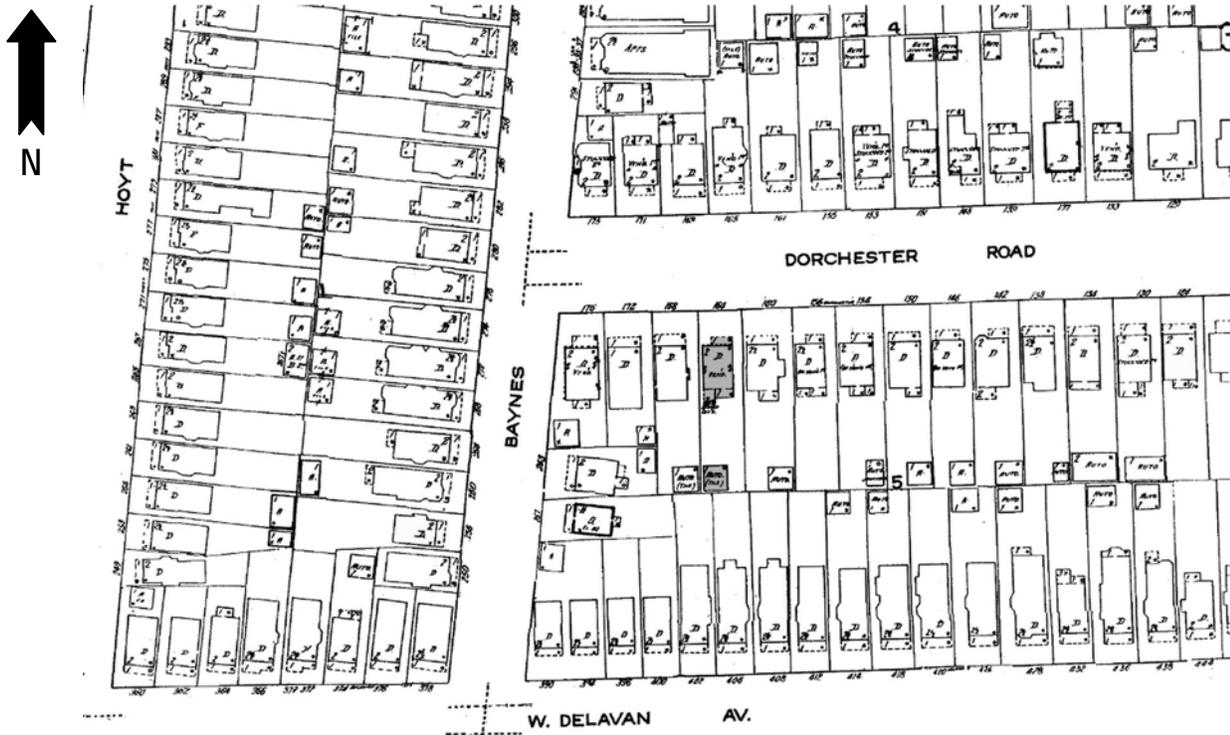
A two-story, flared hipped roofed, urban, brick residence of foursquare inspired design and reserved Prairie styling. It has a rough squared plan and is set on a low stone foundation. The façade has a centered 7/9-width, flat roofed, enclosed, brick porch with symmetric double window groups along the front, triple windowing at the sides, angled buttress-like supports at the forward corners, plain frieze space. Extended eaves and a central railed entry stair. The main entrance is located centrally on the facade with sidelight and transom surround. The second floor is defined by two evenly spaced single windows set in either side bay and a small central single window. A large flared hipped roof dormer accented by small quartet windowing with latticework panes set centered on the front slope. A smaller dormer of similar design sets on the east roof slope. Roofed rectangular oriel with triple windowing visible on the east elevation; smaller roofed bay further to the front. Brick chimney visible to the rear on the eastern slope. Exterior fabric is brick. Fenestration is eight-or-one, three-over-one, and one-over-one double hung wood sash and fixed.

A garage sets in the rear west corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 164 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban, brick residence of foursquare inspired design and reserved Prairie styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Dorchester Improvement Co. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-10)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  USN: _____
-----------------------------------

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 165 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 165 Dorchester Road is set on a standard lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

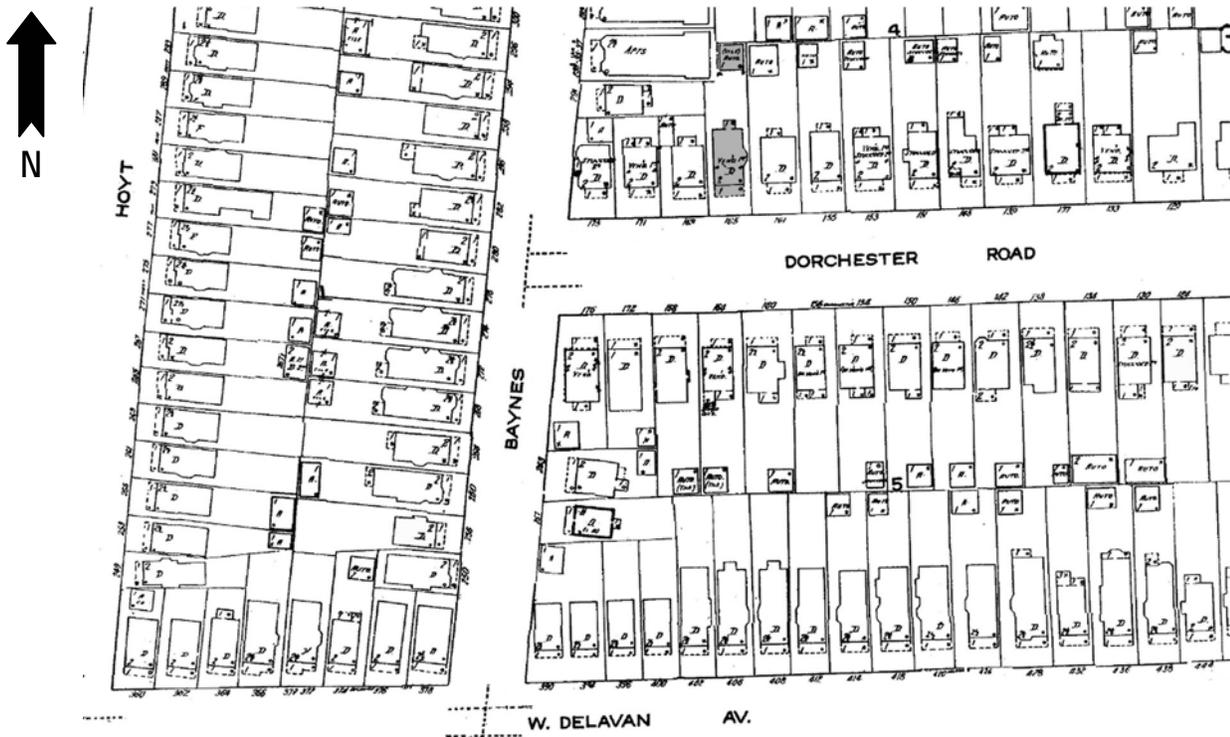
A two-and-one-half story, cross gabled, urban, frame residence of Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed, open porch with slender ¾-height square columns set on capped brick piers that extend to the ground, spindled wood rail, wide frieze with modest molding, and an entry stair to the west. The main entrance is located in the west bay of the façade, set within a small enclosed vestibule. A small window sets to the west of the entrance in the extreme side bay. A large window group occupies the east bay. The second floor façade is defined by a small polygonal oriel with triple windowing; gable peak closed and trimmed. Two-story polygonal projection on the east elevation, beneath the slightly projecting pent enclosed cross gable with paired window accent. Several brick chimneys visible. Exterior fabric is brick on the lower story with clapboard and shingle upper. Fenestration is twelve-over-one, nine-over-one, four-over-one, and one-over-one double hung wood sash and fixed. Additional detailing includes belt course, frieze, rafter tails and modest framing.

A small outbuilding directly to the rear of the residence. A garage occupies the rear of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 165 Dorchester Road is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of Queen Anne style. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for William H. Burke. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-10)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY
USN: _____

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 168 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1919

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 168 Dorchester Road is set on a standard lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

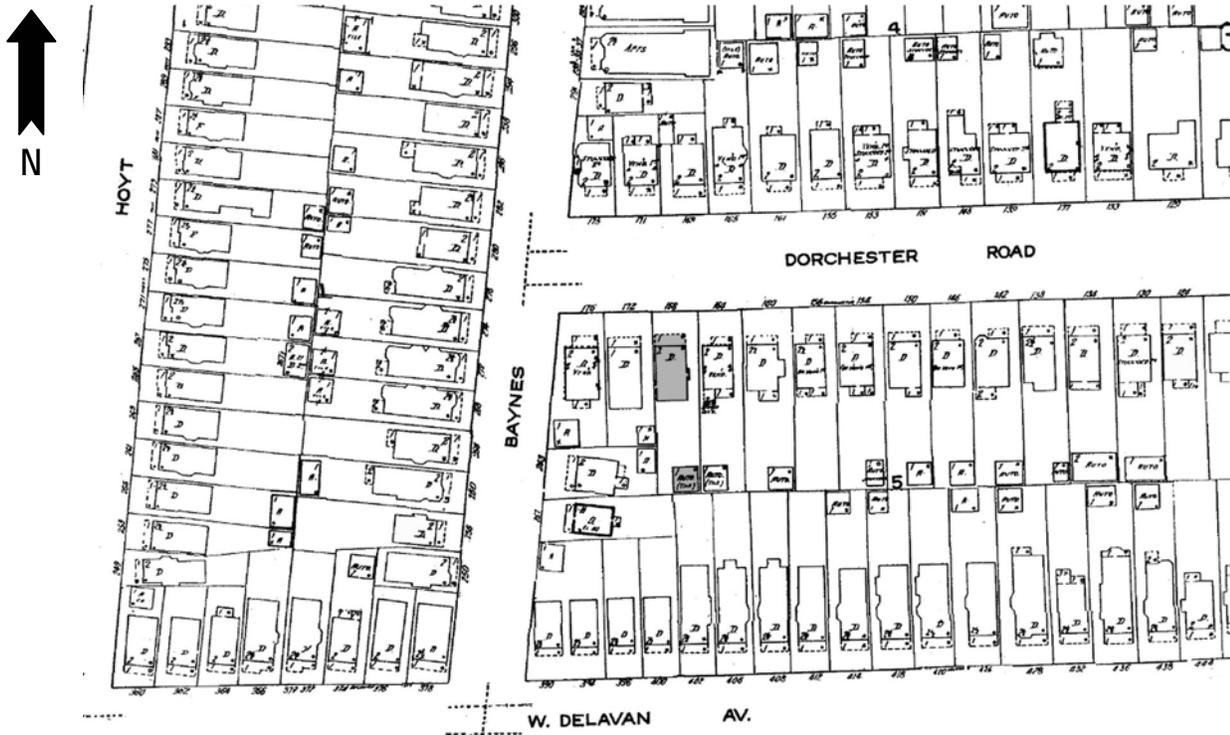
A two-and-one-half story, front gabled, urban residence of mixed period styling and chalet-influenced Craftsman detail. It has a rough shortened rectangular plan and is set on a low stone foundation. The façade has a centered ¾-width, front gabled, enclosed, brick, living porch with large capped brick pilasters at the forward corners, a central quartet elongated window grouping on the façade, wide frieze, extended eaves with verge boards, shaped rafter tails, bracketing and framing. The main entrance is located on the east elevation beneath a roofed rectangular upper story oriel with brackets. The second floor façade is defined by simple symmetric single windowing. The enclosed gable end is punctuated by a small double window and accented by moderate framing. A small gabled dormer with window accents, verge boards, and exposed rafter tails set on the east roof slope. Several brick chimneys visible. Exterior fabric is clapboard on the lower story, stucco upper with half-timbering. Fenestration s four-over-one, and one-over-one double hung wood sash and fixed. Additional detailing includes wide front frieze with molding and brackets, modest belt course, verge boards, exposed rafter tails and open brackets.

A garage sets in the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 168 Dorchester Road is significant as a good representative example of a two-and-one-half story, front gabled, urban residence of mixed period styling and chalet-influenced Craftsman detail. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for John A. Talty. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-11)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 169 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known Emerson C. Dell Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 169 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

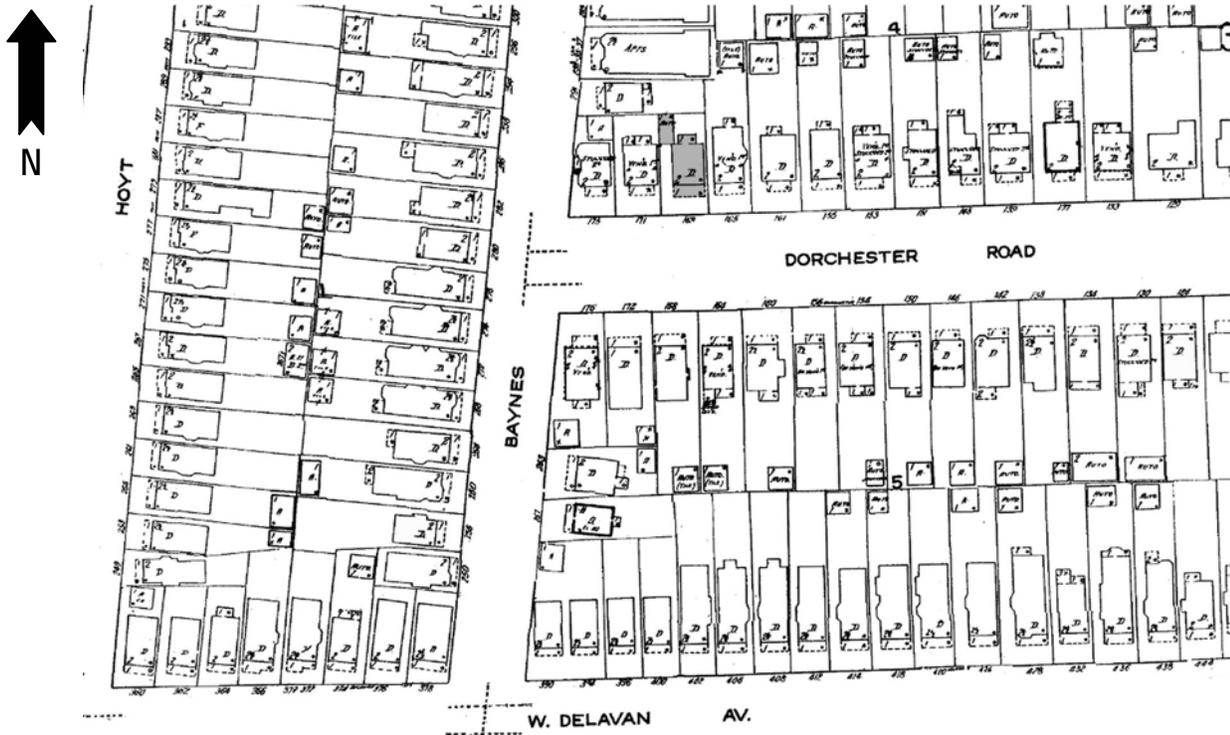
A two-story, hipped roofed, urban, frame residence of foursquare inspired design and mixed period styling. It has a squared plan and is set on a stone foundation. The façade has full-width, hipped roof, open porch with slender square patterned columns, open wood rail set on a low patterned wood base, plain frieze, and an entry stair in the west. The enframed and sidelighted main entrance is located in the west bay of the façade, within a shallow enclosed vestibule. A framed triple window group occupies the east bay. The second floor façade is defined by a matching polygonal oriels with triple windowing centered in either side bay. A gabled dormer accented by framed double window, verge boards and bracketing sets centered on the front slope. A smaller dormer of similar design sets on the west roof slope. Roofed and bracketed rectangular oriel with triple windowing visible on the east elevation; smaller roofed bay window with latticed panes further to the front. Brick chimney visible on the eastern slope. Exterior fabric is wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed. Additional detailing includes extended eaves with lookouts.

A garage sets in the rear to the west.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 169 Dorchester Road is significant as a good representative example of an architect designed, two-story, hipped roofed, urban, frame residence of foursquare inspired design and mixed period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Dorchester Improvement Co. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-11)







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P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

OFFICE USE ONLY  
USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 171 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

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Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

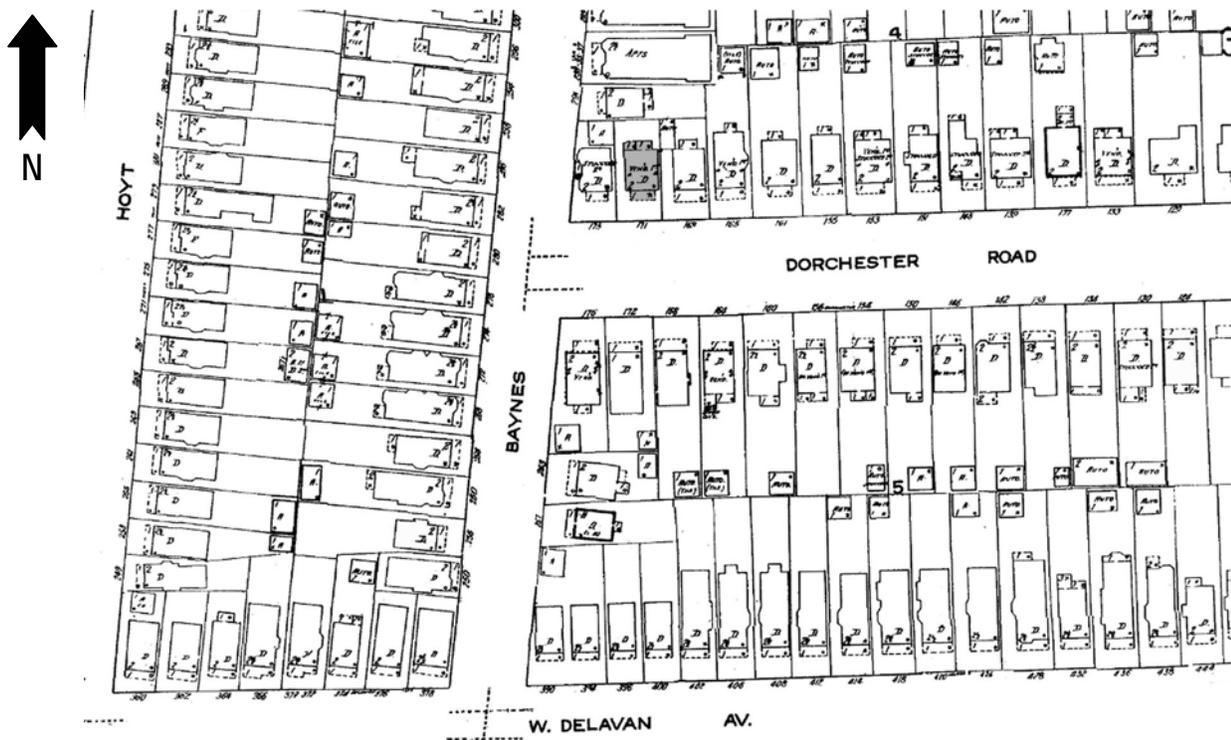
The single family house at 171 Dorchester Road is set on a shortened lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, side gabled, urban residence of mixed Colonial Revival design and period styling. It has a rough shortened rectangular plan. The façade has centered ¾-width, flared hipped roof, open porch with slender ¾-height Ionic columns set on thick brick piers that flow down into the foundation, spindled wood rail, plain frieze, extended eaves, and central railed entry stair. The main entrance is located in the west bay of the façade. A single window sets on the west of the entrance in the extreme side bay. A large window group occupies the east bay. The second floor façade is defined by matching polygonal oriels with triple windowing centered in either side roof slope, centered over either side bay. Roofed and bracketed rectangular oriel with ripple windowing visible on the west elevation smaller roofed bay window with latticed panes further to the front. Side gable ends accented by windowing. Several brick chimneys visible. Exterior fabric is brick on the lower story and wood shingle upper. Fenestration is six-over-one and one-over-one double hung wood sash and foxed. Additional detailing includes extended eaves and exposed rafter tails and modest belt course.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 171 Dorchester Road is significant as a good representative example of a two-and-one-half story, side gabled, urban residence of mixed Colonial Revival design and period styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built or Charles G. Hudson. A Contributing building of the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-12)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 172 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1910

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 172 Dorchester Road is set on a shortened lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

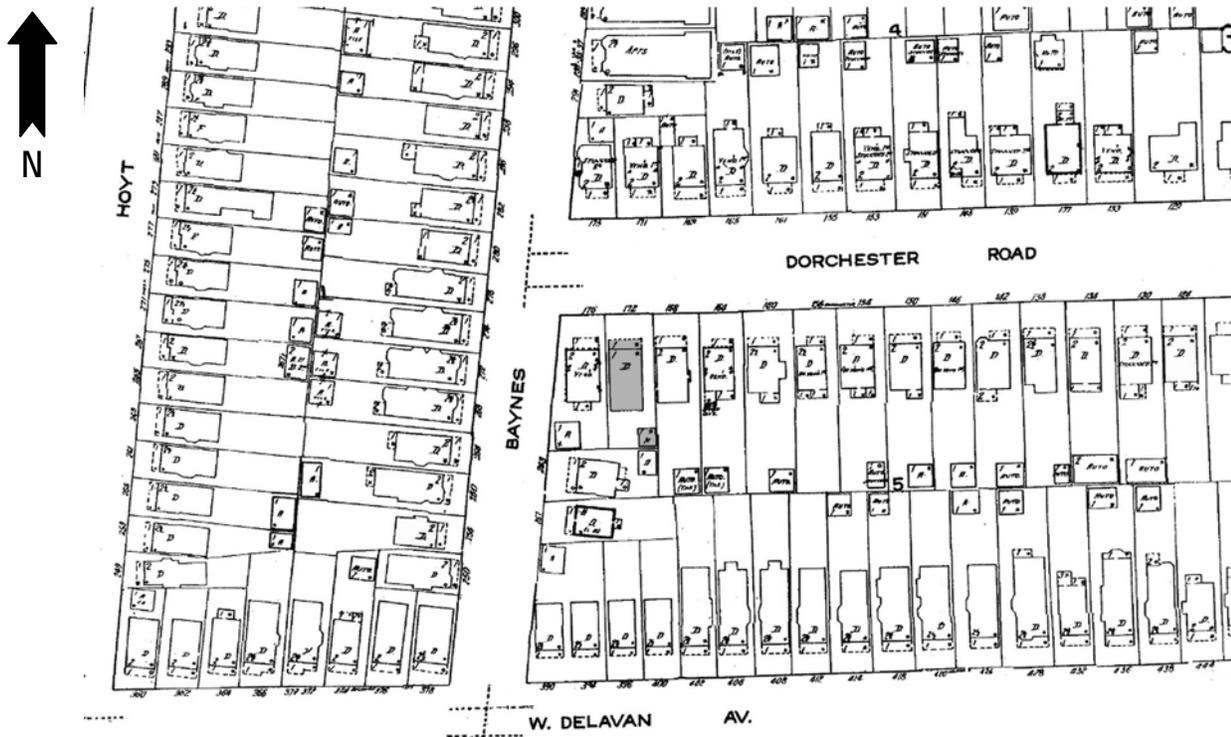
A one-story, hipped roofed, urban Craftsman bungalow residence. It has a shortened rectangular plan and is set on a stone foundation. The façade has full-width, flat roofed, open porch with large squared trimmed elephantine column supports, open wood rail, small frieze, wide extended eaves, and a railed entry stair to the west. The main entrance is located on the façade off center to the west. A paired window sets to the west of the entrance in the extreme side bay. A large ribboned window occupies the east bay. A large hipped roof dormer with a triple window accent and wide eaves with exposed rafter tails sets centered on the front slope. A similar dormer sets on the eastern slope. Tall brick chimney visible to the front on the east slope. Exterior is wood shingle. Fenestration is primarily one-over-one double hung wood sash and fixed with occasional latticework.

A small garage occupies the rear east corner of the lot.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 172 Dorchester Road is significant as a good representative example of a one-story, hipped roofed, urban Craftsman bungalow residence. Styled urban singles of varying Queen Anne influence, such as this, were common housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, on the West Side. This street is one of few in the neighborhood with a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. A Contributing building to the Richmond Avenue – Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-12)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 175 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1909

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## **Photos**

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

## **Maps**

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

**Study:** City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

**Prepared by:** Clinton Brown Company Architecture, pc

**Address:** 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

**Telephone:** (716) 852-2020 ext. \_\_\_\_\_

**Email:** cbca@buffnet.net

**Date:** 03/2004

(See following pages)

**PLEASE PROVIDE THE FOLLOWING INFORMATION**

**IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS**

**Narrative Description of Property:** Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single family house at 175 Dorchester Road is set on a shortened corner lot, located on the north side of the street, on the block between Baynes Street and Richmond Avenue, at its west end. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

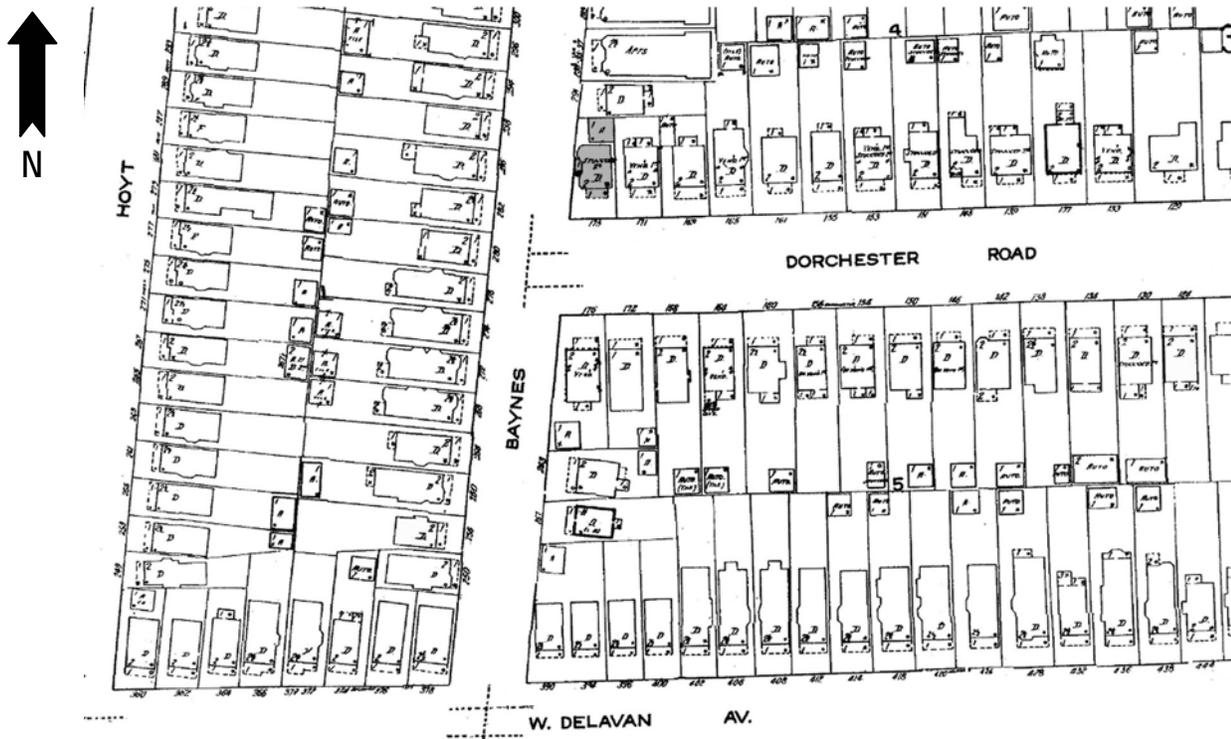
**NON-CONTRIBUTING**

A two-and-one-half story, side gabled, urban frame residence of Colonial revival influenced design, mixed period styling and Craftsman detail.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 175 Dorchester Road is significant as a **non-contributing** building to the Richmond Avenue – Ashland Avenue Historic District. Built for Charles G. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-11; N-13)







# HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION  
& HISTORIC PRESERVATION  
P.O. BOX 189, WATERFORD, NY 12188  
(518) 237-8643

USN: \_\_\_\_\_

## IDENTIFICATION

Property name (if any) \_\_\_\_\_

Address or Street Location 176 Dorchester Road

County Erie Town/City Buffalo Village/Hamlet \_\_\_\_\_

Owner \_\_\_\_\_ Address \_\_\_\_\_

Original use Residential Current use Residential

Architect/Builder, if known \_\_\_\_\_ Date of construction, if known 1908

## DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof:  asphalt, shingle  asphalt, roll  wood shingle  metal  slate

Foundation:  stone  brick  poured concrete  concrete block

Other materials and their location: \_\_\_\_\_

Alterations, if known: \_\_\_\_\_ Date: \_\_\_\_\_

Condition:  excellent  good  fair  deteriorated

## Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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The single family house at 176 Dorchester Road is set on a shortened, slightly trapezoidal corner lot, located on the south side of the street, on the block between Baynes Street and Richmond Avenue, at its west end. Dorchester Road is a notable, east-west, residential street that runs between Baynes Street and Bidwell Parkway. Surrounded by prominent boulevards, this carefully laid out street was an early twentieth century addition to one of the most prestigious residential areas of the neighborhood, and the city as a whole. It is a part of the Historic District. The property is located in an upscale residential region of the north eastern section of the Grant-Ferry-Forest neighborhood.

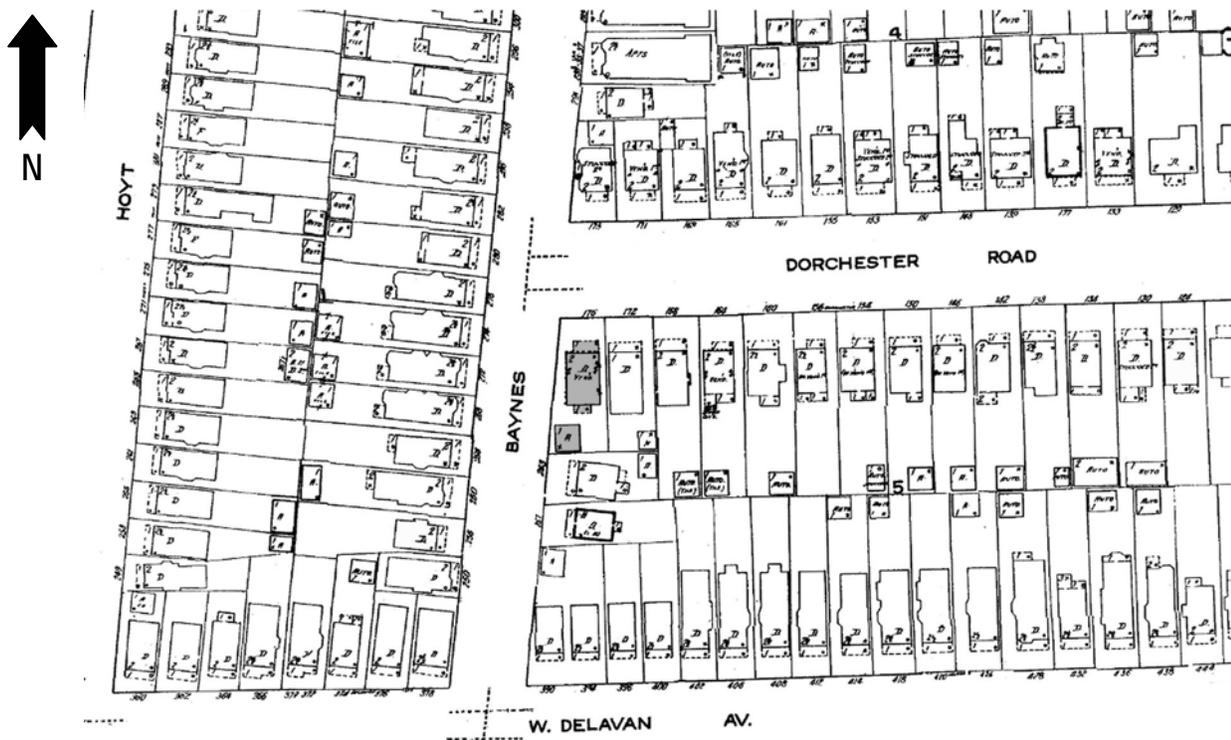
A two-story, flared hipped roofed, urban brick residence of foursquare influenced design and mixed period Colonial inspired styling. It has a rough shortened rectangular plan. The façade has ¾-width, flat roofed, open porch to the east. The main entrance is located in the east bay of the façade, under the porch. Three evenly spaced single windows occupy the west bay – two included under the porch. The second floor façade is defined by simple symmetric single windowing, matching that of the lower story. A flared gabled dormer with a double window accent, verge boards, and exposed rafter tails sets centered on the front slope. A similar dormer sets on the west roof slope. Tall exterior brick chimney to the front on the west elevation. Exterior fabric is brick with wood shingle on the dormers. Fenestration is eight-over-one, six-over-one, four-over-one, and one-over-one double hung wood sash and fixed; all with stone sills. Additional detailing includes wide eaves, large frieze and cornice with dentils and molding, and modest trim.

A garage sets in the rear west corner, fronting Baynes Street.

**Narrative Description of Significance:** Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 176 Dorchester Road is significant as a good representative example of a two-story, flared hipped roofed, urban brick residence of foursquare influenced design and mixed period Colonial inspired styling. Moderately styled urban singles of varying design, such as this, were typical housing for middle and more modest upper class families of the nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. This street has a concentration of foursquare and Craftsman influenced dwellings, indicative of the slightly later building period. Built for Charles G. Hudson. A Contributing building to the Richmond Avenue- Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-13)

