



HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 21 Penfield Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1880

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 21 Penfield Street is set on a shortened lot, located on the south side of the street. Penfield Street is a small, east-west, residential street that runs between Niagara Street and West Avenue. The property is located in a mixed use area of the west central section of the Grant-Ferry-Forest neighborhood.

A two-story, hipped roof, simple brick residence with Italianate influencing. The duplex has a symmetric rectangular plan. The façade has a small wood railed open entry porch. The paired main entrance doors are centrally located on the facade. The façade is distinguished by symmetric tiered fenestration. Exterior wall fabric is brick. Arched window openings with stone lintels; fenestration is one-over-one double-hung wood sash and fixed. A brick chimney is visible to the rear of the west slope. Additional detailing includes a wide frieze and cornice trim and the modest topper at the roof crest.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 21 Penfield Street is significant as a good representative example of a two-story, hipped roof, simple brick residence with Italianate influencing. Built as a brick stable for a brick house that stood at 1361 Niagara Street and later converted to a two-family dwelling. That home was owned by Alfred B. Bidwell; Penfield St. was previously Bidwell St. One of the older structures remaining on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-23)





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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 22 Penfield Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1870

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input checked="" type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

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Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 22 Penfield Street is set on a short lot, located on the north side of the street. Penfield Street is a small, east-west, residential street that runs between Niagara Street and West Avenue. The property is located in a mixed use area of the west central section of the Grant-Ferry-Forest neighborhood.

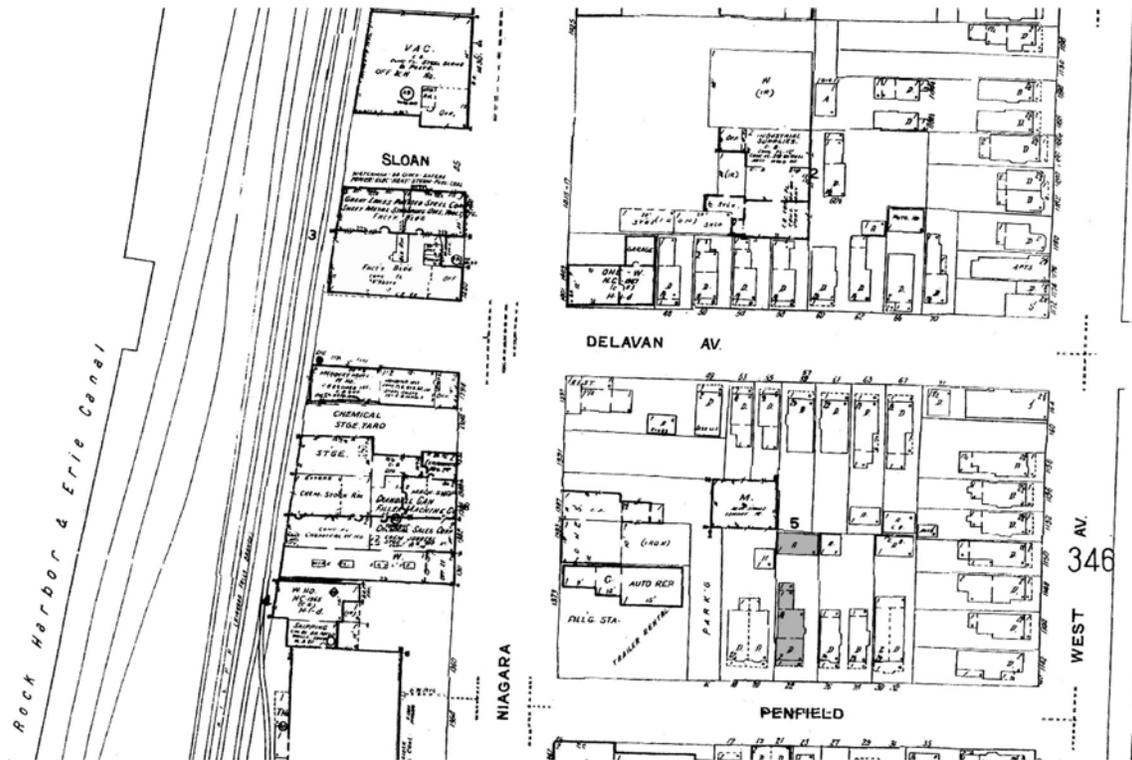
A two-story, front gabled, urban, Victorian vernacular, frame residence. It has a rough ell plan with main block and narrowed one-story rear extension. It is set on a stone and concrete foundation. The façade has full-width shed roof porch with wood post supports and open wood rail. The main entrance is located in the west bay under the porch. The façade is distinguished by simple symmetric fenestration. Protruding polygonal bay visible on the east elevation of the rear section. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Modest corner boards and gable trim visible.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 22 Penfield Street is significant as a good representative example of a two-story, front gabled, urban, Victorian vernacular, frame residence. One of the older structures remaining on the West Side. Vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1886) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-24)





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OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 26 Penfield Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

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Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The single-family house at 26 Penfield Street is set on a short lot, located on the north side of the street. Penfield Street is a small, east-west, residential street that runs between Niagara Street and West Avenue. The property is located in a mixed use area of the west central section of the Grant-Ferry-Forest neighborhood.

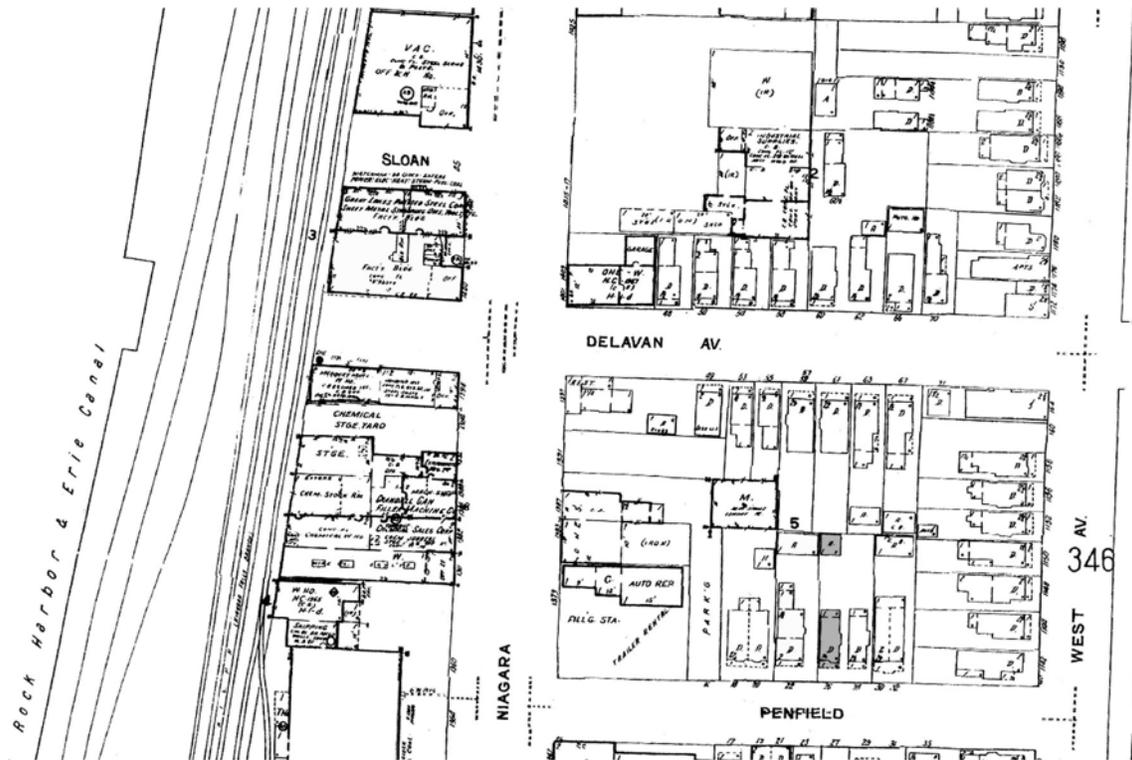
A two-and-one-half story, front gabled, urban, vernacular Victorian frame residence with Queen Anne detailing. It has a rough rectangular plan and is set on a stone and brick foundation. The façade has a full-width, flat roofed porch with turned wood posts, spindled wood rail, flat frieze, and ornamental bracketing. The main entrance is located in the west bay. A polygonal bay occupies the east bay. The second floor façade has a polygonal oriel in the east above the lower bay. Protruding bay on the east elevation. Exterior wall fabrics are wood clapboard and shingle. Fenestration is one-over-one double-hung wood sash and fixed. A small polygonal oriel with leaded panes punctuates the front closed gable end. Additional detailing includes corner pilasters, frieze, and exposed rafter tails.

A small garage occupies the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 26 Penfield Street is significant as a good representative example of two-and-one-half story, front gabled, urban, vernacular Victorian frame residence with Queen Anne detailing. Built for H. T. Baynes. A modest Queen Anne styled design common amongst single-family residences of the era in the Grant-Ferry-Forest neighborhood.

MAP: Sanborn Map (Revised 1986) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-25)





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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 30 Penfield Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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The two-family house at 30 Penfield Street is set on a short lot, located on the north side of the street. Penfield Street is a small, east-west, residential street that runs between Niagara Street and West Avenue. The property is located in a mixed use area of the west central section of the Grant-Ferry-Forest neighborhood.

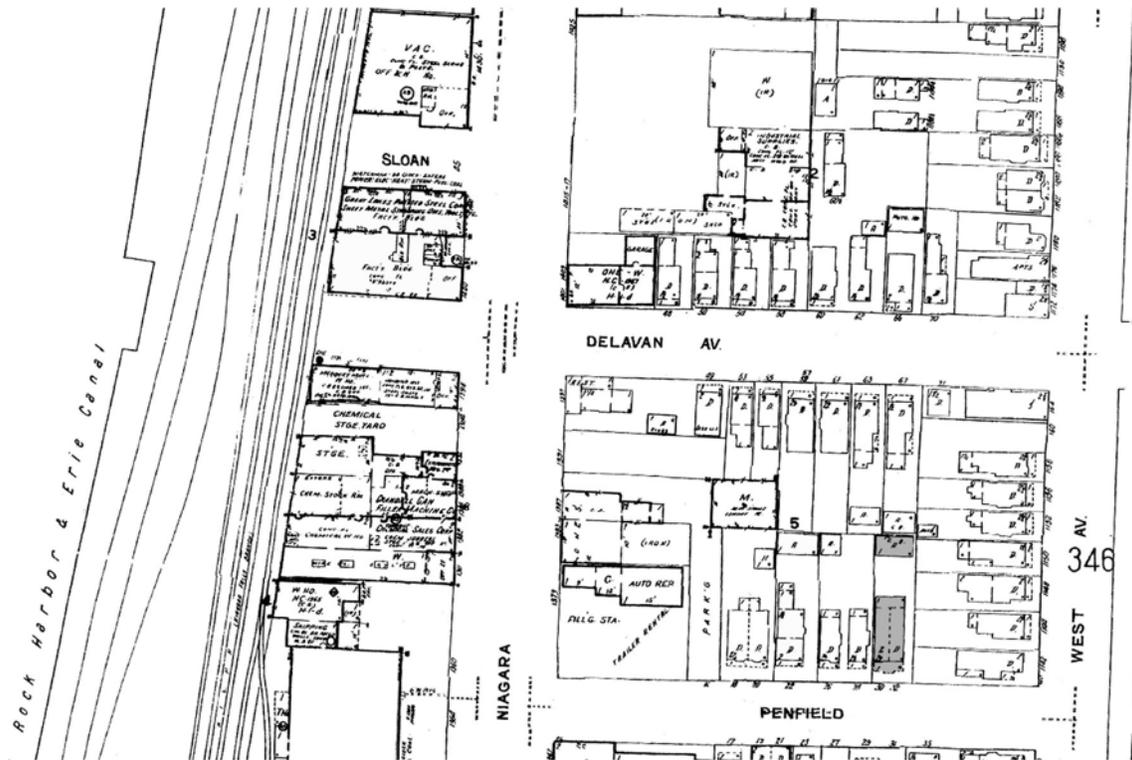
A two-and-one-half story, front gabled, urban, frame vernacular residence with Queen Anne styling. The duplex has a symmetric rectangular plan and is set on a stone foundation. The façade has a full-width, flat roofed porch that sets slightly to the east with ¾- height fluted Doric column supports set on a wood piers, solid wood rail, modest flat frieze, and extended roof with brick piers and metal supports over the centered, ½-width entry stair. The two main entrance doors are located in the center of the façade. Small polygonal bays round the corners of the lower story façade. The second floor façade has matching projecting polygonal oriel in the side and a small central paired window with leaded latticed panes. Exterior wall fabrics are clapboard and wood shingle. Fenestration is one-over-one and twelve-over-one double-hung wood sash and fixed. A large bowed polygonal oriel punctuates the closed front gable end. Additional architectural details include frieze and modest cornice and gable trim.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 30 Penfield Street is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame vernacular residence with Queen Anne styling and notable oriel in gable peak. Built for H. T. Baynes. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 345



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-26)





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P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 12 Perkins Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

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Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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The single-family house at 12 Perkins Place is set on a standard lot, located on the north side of the street. Perkins Place is a small, east-west, residential street that runs between Dewitt Street and Herkimer Street. The property is located in a residential area of the west central section of the Grant-Ferry-Forest neighborhood.

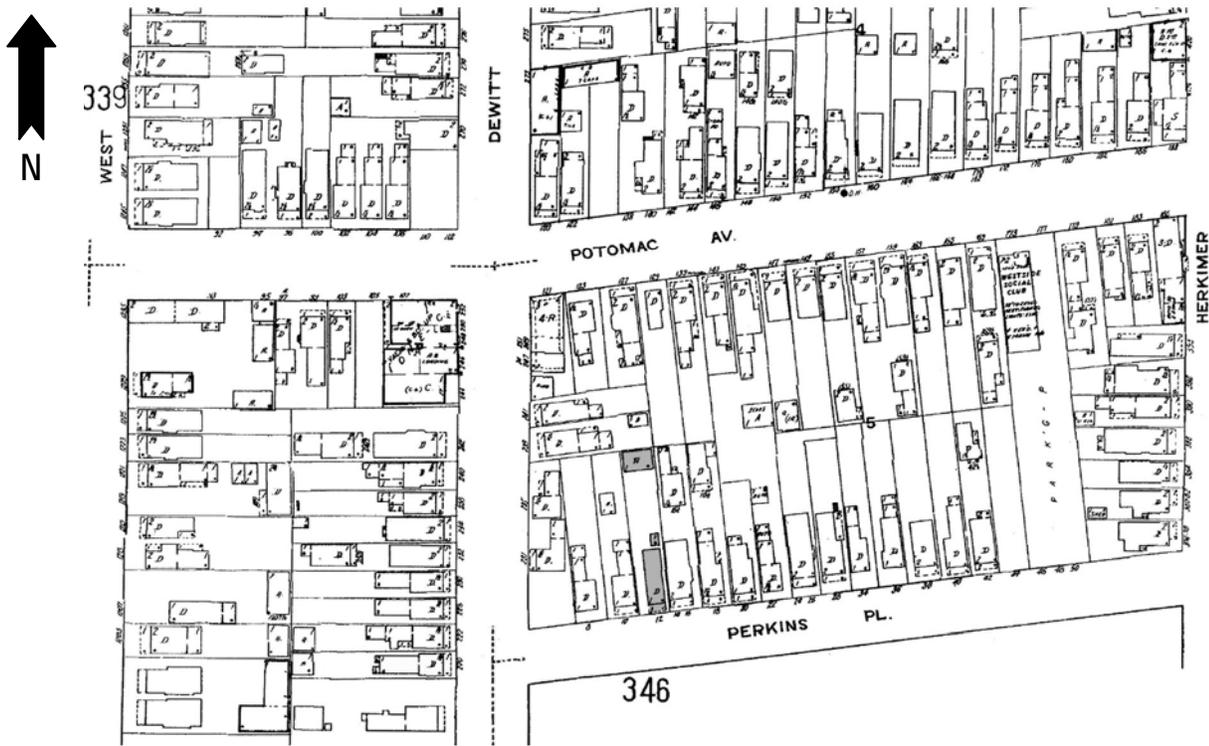
A one-story, front-gabled, vernacular workers' cottage. It has a rectangular plan and is set on a concrete foundation. The façade has a full-width, hipped roofed porch with square column supports and solid wood rail. The main entrance is located in the east bay of the façade with an entry stair. A large paired window occupies the west. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed; some windows boarded. Small window punctuates the gable peak.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 12 Perkins Place is significant as a good representative example of a one-story, front-gabled, vernacular workers' cottage. Notable workers' cottage characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-20)





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OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 21 Perkins Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 21 Perkins Place is set on a standard lot, located on the south side of the street. Perkins Place is a small, east-west, residential street that runs between Dewitt Street and Herkimer Street. The property is located in a residential area of the west central section of the Grant-Ferry-Forest neighborhood.

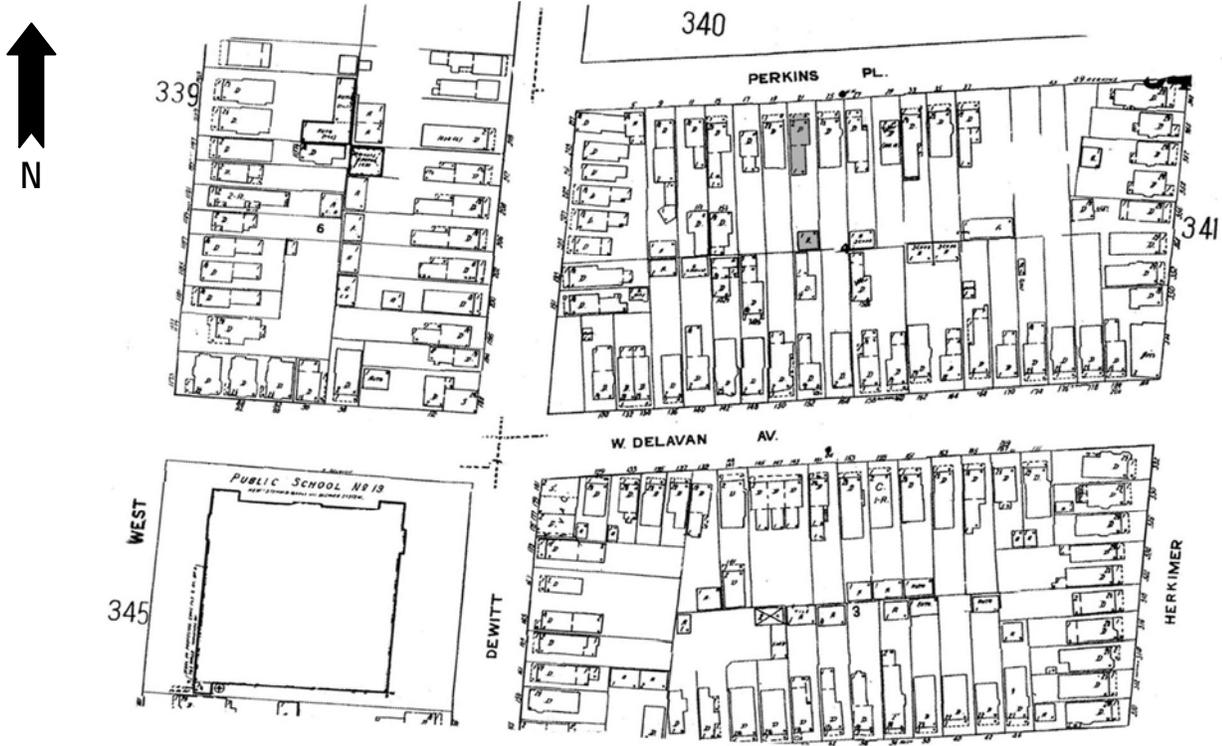
A two-story, front-gabled, vernacular Victorian, urban frame residence. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width, hipped roofed porch with square elephantine column supports and solid wood rail. The main entrance is located in the west bay of the façade with an entry stair. A large triple window grouping occupies the east bay. The second floor façade is distinguished by a centered paired window group. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Minor detailing includes modest corner boards and frieze.

A garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 21 Perkins Place is significant as a good representative example of two-story, front-gabled, vernacular Victorian, urban frame residence. This house was originally one story, and it was raised to two stories in 1918. Simple folk house characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1886) – Plate 346



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 40 Perkins Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1875

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

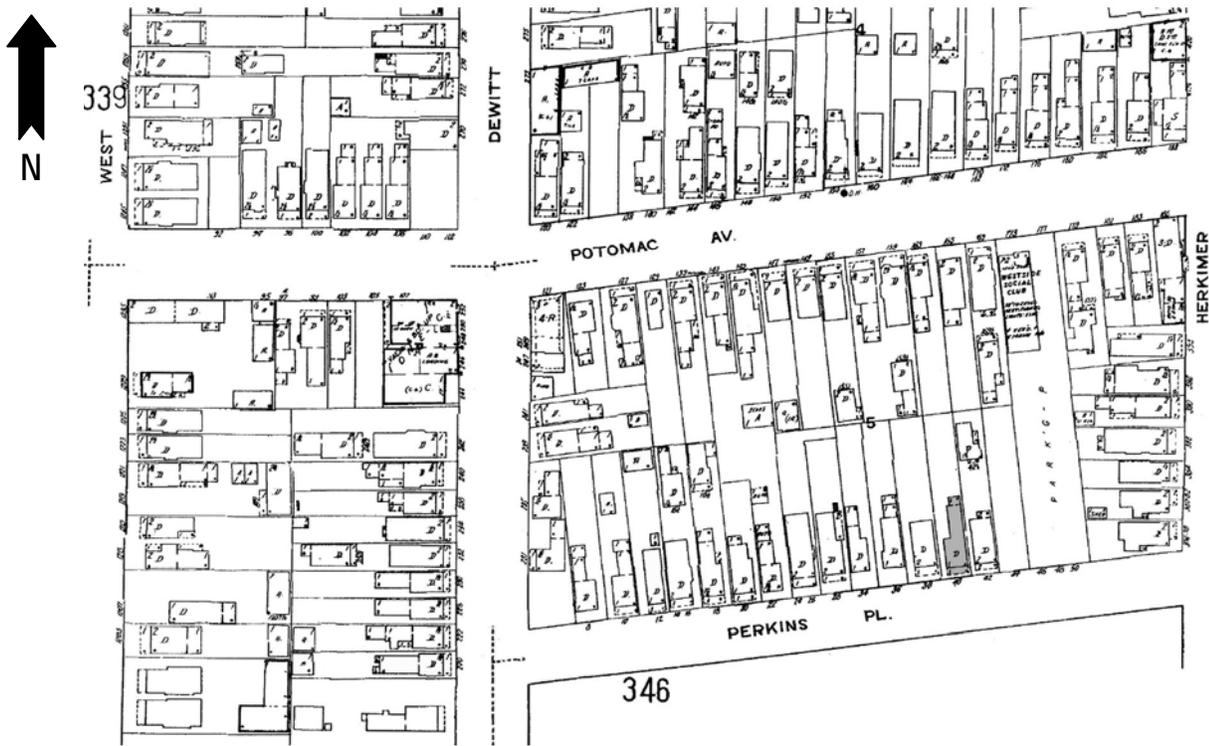
The single-family house at 40 Perkins Place is set on a standard lot, located on the north side of the street. Perkins Place is a small, east-west, residential street that runs between Dewitt Street and Herkimer Street. The property is located in a residential area of the west central section of the Grant-Ferry-Forest neighborhood.

A one-story, front-gabled, vernacular workers' cottage with modest detailing of a mixed Italianate style. It has slight elled plan with main block and narrowed rear section. The façade has a full-width, hipped roofed porch with ¾ square column supports set on a solid shingled wood rail, modest frieze and cornice, and ¼-width pediment over the small entry stair in the west. The main entrance with reserved arch enframingent is located in the west bay of the façade. Two large windows with matching arched enframingents occupy the east bay. Exterior wall fabric is clapboard. Fenestration is one-over-one and four-over-four double-hung wood sash and fixed. A small window punctuates the gable peak.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 40 Perkins Place is significant as a good representative example of A one-story, front-gabled, vernacular workers' cottage with modest detailing of a mixed Italianate style. Notable workers' cottage with modest stylization characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 643 Plymouth Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1897

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

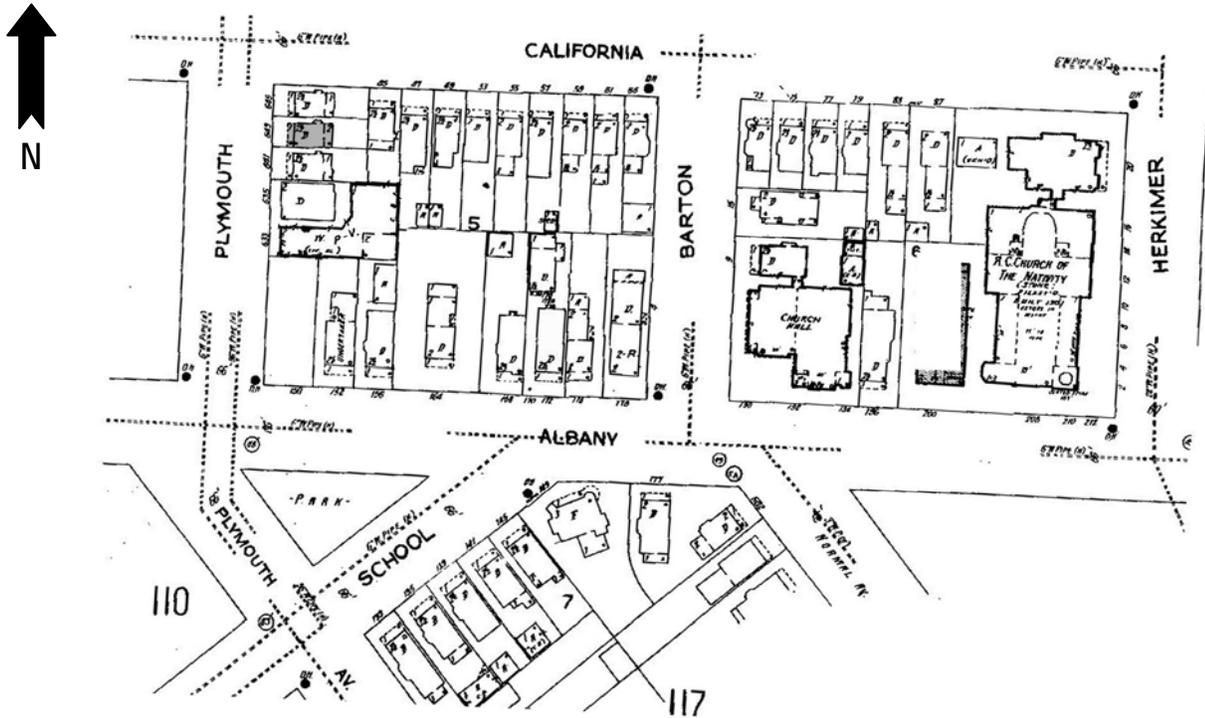
The single-family house at 643 Plymouth Avenue is set on a small lot, located on the east side of the street on the north-south section of Plymouth Avenue on the block between Albany Street and California Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of reserved Queen Anne design. It has a rough rectangular plan. The façade has a full-width, flat roof porch with ¾ square column supports set on solid clapboard rail, flat frieze, and ¼-width pediment over the entry stair in the south. The main entrance is located in the south bay. A large window grouping occupies the north bay. The second floor façade has a polygonal oriel with side brackets flush beneath the projecting gable end. Second-story, shed roofed extension visible at rear. Protruding bay on the north elevation. Exterior wall fabric is clapboard with decorative wood shingle in the front gable. Fenestration is one-over-one double-hung wood sash and fixed. A small paired window punctuates the gable peaks. A brick chimney rests on the south slope just off the central ridge.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 643 Plymouth Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of a reserved Queen Anne design. Built for J. G. & C. L. Gibbons

MAP: Sanborn Map (Revised 1986) – Plate 93



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 715 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

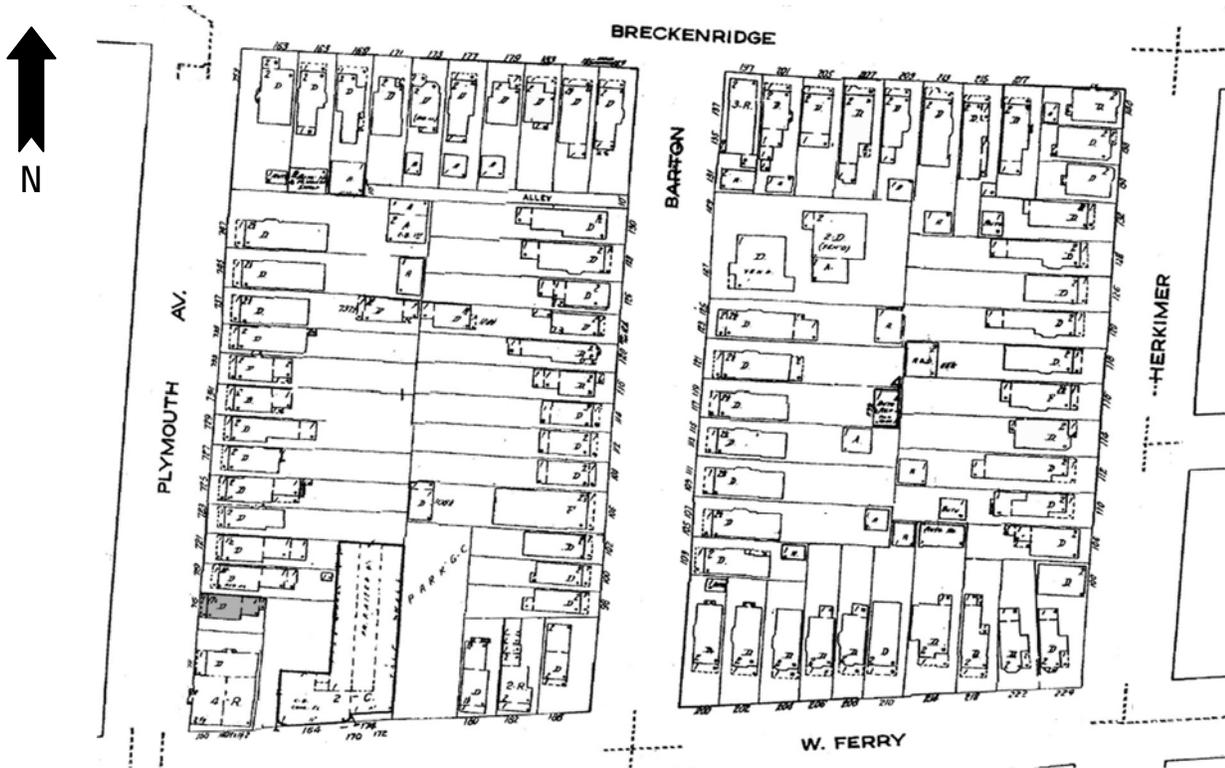
The single-family house at 715 Plymouth Avenue is set on a small lot, located on the east side of the street on the north-south section of Plymouth Avenue on the block between Ferry Avenue and Breckenridge Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, urban, frame, vernacular Victorian folk home with modest detailing. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width, flat roofed porch with square column supports, open and solid wood rail, and flat frieze. The main entrance is located in the north bay of the façade with an entry stair. The façade is distinguished by symmetric tiered fenestration. Exterior wall fabric is clapboard. Fenestration is one-over-one, two-over-one, and two-over-two double-hung wood sash and fixed. Detailing includes decorative window enframements with engaged brackets and small hoods, modest corner boards and frieze.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 715 Plymouth Avenue is significant as a good representative example of a two-story, front-gabled, urban, frame, vernacular Victorian folk home with modest detailing. Such simple folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban duplexes and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-27)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 723 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1894

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

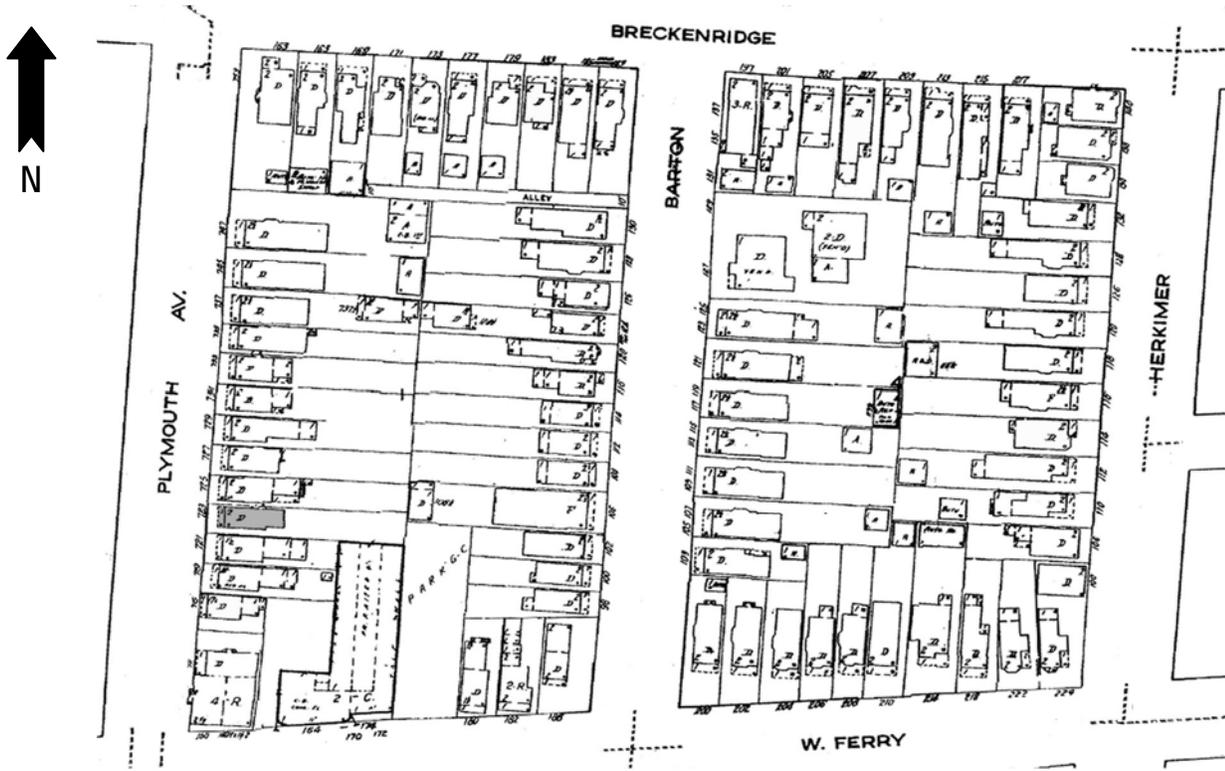
The single-family house at 723 Plymouth Avenue is set on a standard lot, located on the east side of the street on the north-south section of Plymouth Avenue on the block between Ferry Avenue and Breckenridge Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

A two-story, front gabled, vernacular Victorian, urban, frame residence with modest Queen Anne influences and styling. It has a rough rectangular plan with a slightly narrowed rear extension. The façade has a full-width, hipped roof porch with square column supports, solid wood rail, modest frieze and entablature, and ¼-width pediment over the entry stair in the north. The main entrance is located in the north bay within a small entry vestibule. A large paired window occupies the south bay. The second floor façade is distinguished by simple symmetric fenestration. A small, recessed, multi-paned window with pediment punctuates the gable peak. Hipped roof, projecting, first-story bay visible on the north elevation. Exterior wall fabric is wood shingle. Fenestration is one-over-one double-hung wood sash and fixed. Additional detailing includes notable shuttering on the façade, modest corner boards and frieze.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 723 Plymouth Avenue is significant as a good representative example of a two-story, front gabled, vernacular Victorian, urban, frame residence with modest Queen Anne influences and styling. Simpler folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban duplexes and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 355



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 724 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1880

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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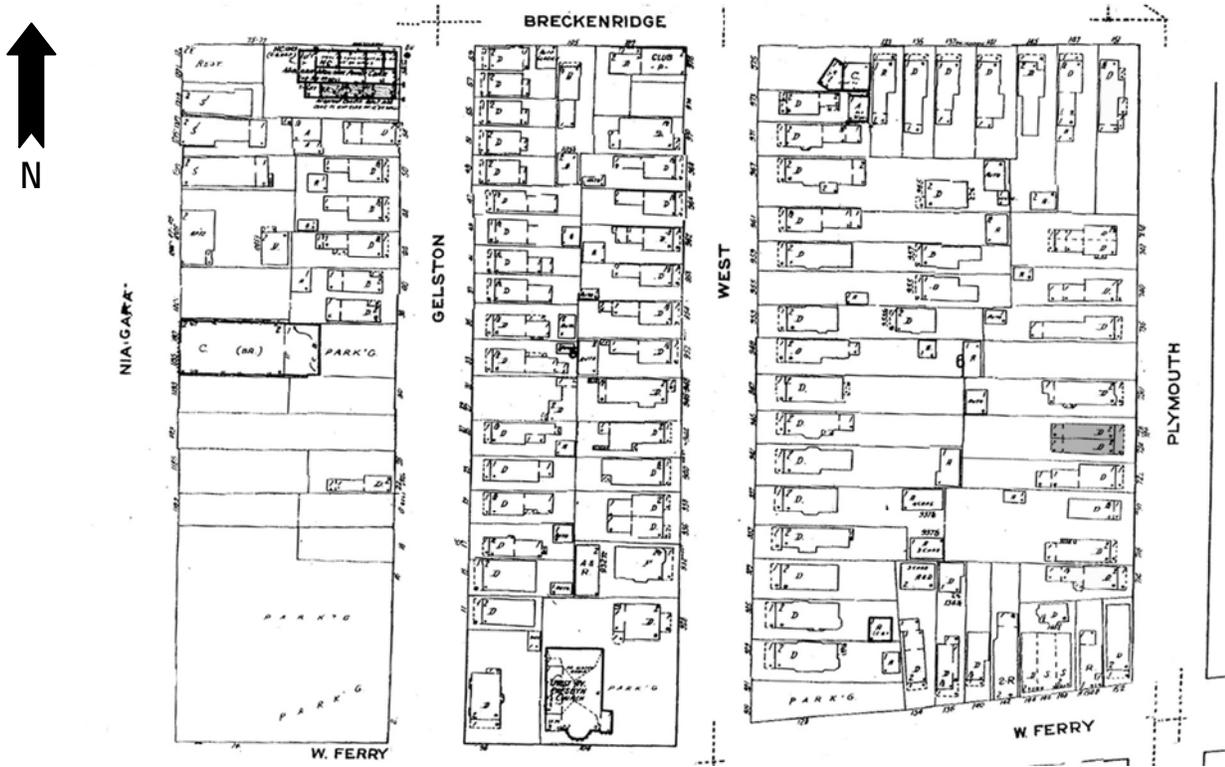
The two-family house at 724 Plymouth Avenue is set on a standard lot, located on the west side of the street on the north-south section of Plymouth Avenue on the block between Ferry Avenue and Breckenridge Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, front gabled, urban, frame, Victorian folk styled residence with Queen Anne influence. The duplex has a symmetric rectangular plan and is set on a stone foundation. The façade has a full-width, flat roof porch with capiteled Doric column supports, spindled wood rail, and central entry stair. The main entrance is centered on the façade within a small entry vestibule. Simple symmetric fenestration in both side bays of the lower façade. The second floor façade has matching paired windows in the side bays. A small window punctuates the gable peak. Exterior wall fabric is clapboard with decorative shingle. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the central ridge. Additional detailing includes elaborate window enframements with engaged brackets and hoods, corner boards and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 724 Plymouth Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame, Victorian folk styled residence with Queen Anne influences. Urban vernacular structures embellished with detailing and varying additions were a practical alternative to the more high-styled homes of the time. Duplexes, such as this, while less common than the double were practical housing for lower to middle class families in the early twentieth century on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 736 Plymouth Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 736 Plymouth Avenue is set on a standard lot, located on the west side of the street on the north-south section of Plymouth Avenue on the block between Ferry Avenue and Breckenridge Street. Plymouth Avenue is a lengthy residential street that cuts through a large section of the West Side. The northern portion of the street, runs north to south from Breckenridge Street to Albany Street; the southern portion runs diagonally to the southeast. The property is located in a residential area of the south west section of the Grant-Ferry-Forest neighborhood.

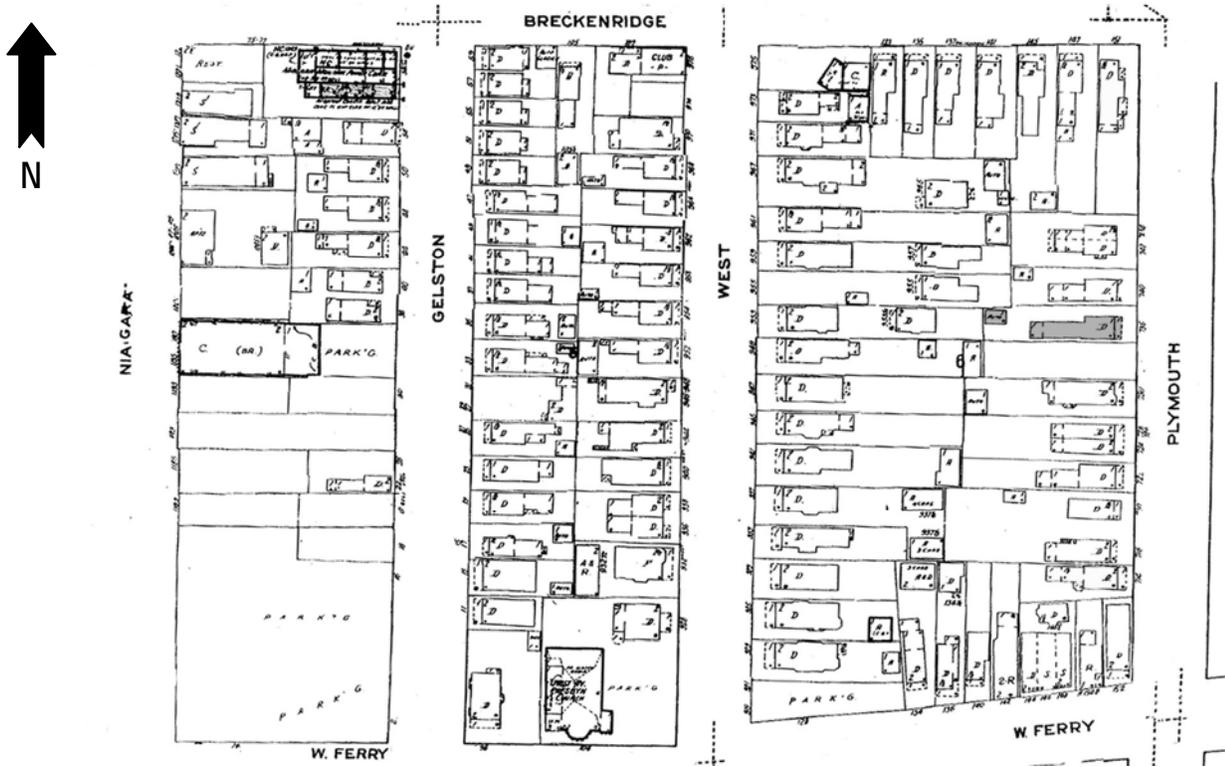
A one-story, front-gabled, vernacular workers' cottage with modest detailing of a mixed style. It has slight elled plan with main block and narrowed rear section. It is set on a rusticated concrete block foundation. The façade has a full-width, flat roofed porch with ¾-height Doric column supports set on a solid wood clapboard rail, modest frieze and cornice, and ¼-width pediment over the entry stair in the south. The main entrance with reserved framing is located in the south bay of the façade. Two large windows with moderate arched framing occupy the north bay. A small window with simple arched enframement punctuates the gable peak. Exterior wall fabric is clapboard with decorative shingle in the porch pediment. Fenestration is one-over-one double-hung wood sash and fixed. Minor detailing includes modest corner boards and trim.

A small garage occupies the rear north corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 736 Plymouth Avenue is significant as a good representative example of a one-story, front-gabled, vernacular workers' cottage with modest detailing of a mixed style. Notable workers' cottage characteristic of the era, though less frequent in the Buffalo Grant-Ferry-Forest neighborhood in which singles and urban doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 351



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 24 Pooley Place
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1892

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

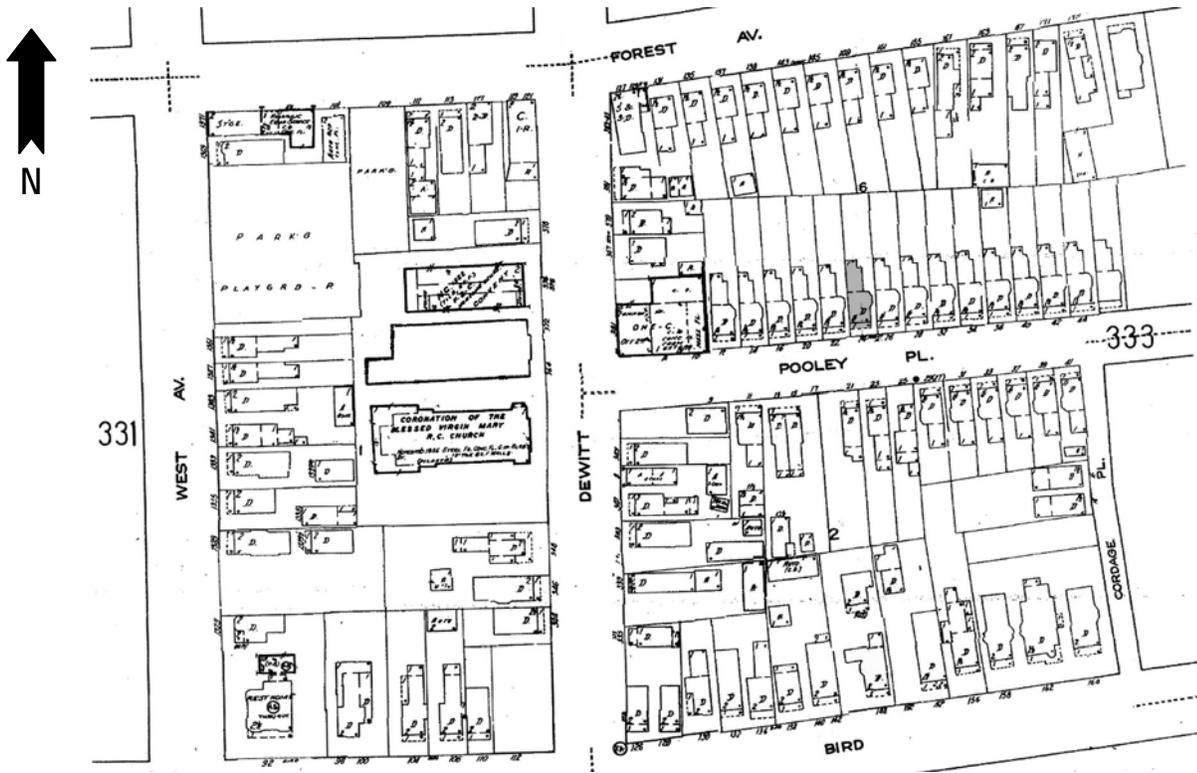
The single-family house at 24 Pooley Place is set on a standard lot, located on the north side of the street, toward its west end. Pooley Place is a small, east-west, residential street that runs between Dewitt Street and Grant Street. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, vernacular Victorian, urban frame residence. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width, hipped roofed, enclosed living porch with pilasters and clapboard base beneath continuous window groupings. The sidelighted main entrance is located in the west bay of the porch façade with an entry stair. The second floor façade is distinguished by a centered paired window group. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the east slope just off the center ridge. Minor detailing includes modest corner boards and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 24 Pooley Place is significant as a good representative example of two-story, front-gabled, vernacular Victorian, urban frame residence with an enclosed living porch. Such simple folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 332



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-19)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 46 Pooley Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1892

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

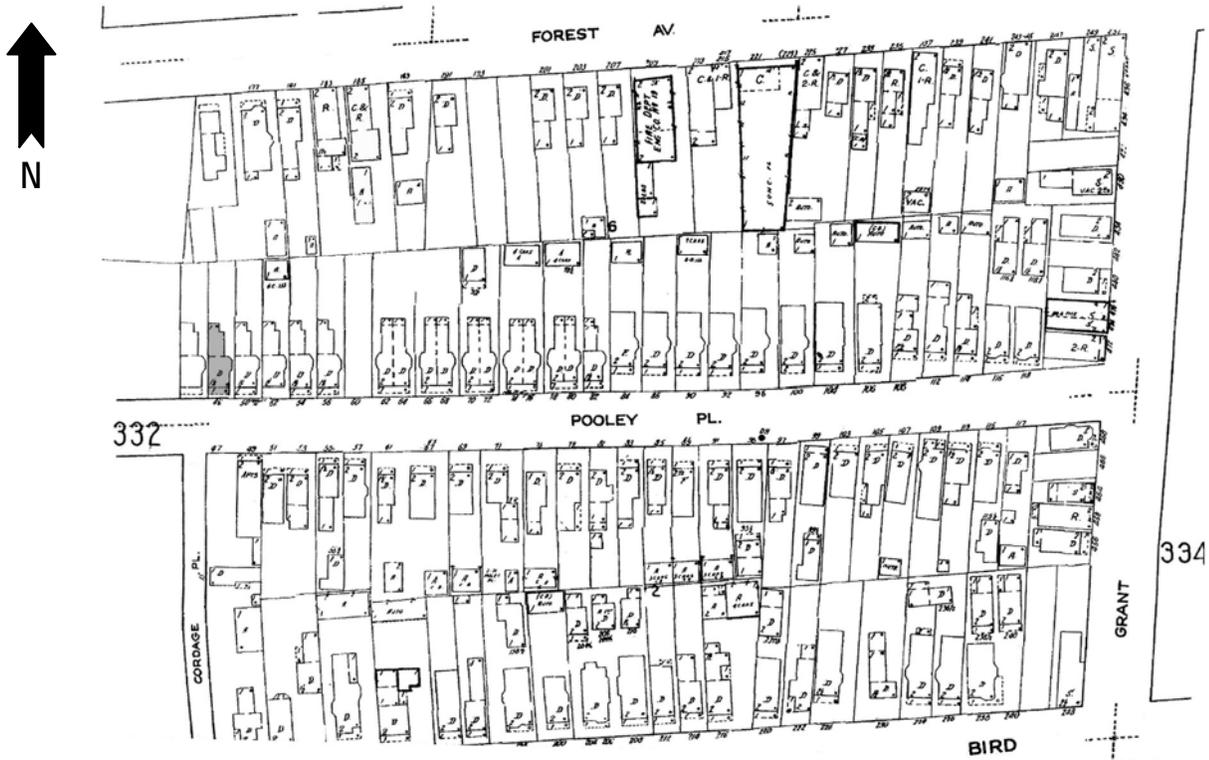
The single-family house at 46 Pooley Place is set on a standard lot, located on the north side of the street. Pooley Place is a small, east-west, residential street that runs between Dewitt Street and Grant Street. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, vernacular Victorian, urban frame residence with moderate mixed style detailing. It has a slight ell plan with main block and narrowed one-story rear section and is set on a stone foundation. The façade has a full-width, hipped roofed porch with square elephantine column supports, solid wood rail, frieze, and enclosed side windows. The modestly enframed main entrance is located in the west bay of the façade with an entry stair. Two large windows with framing occupy the east bay. The second floor façade is distinguished by a centered paired window group with an awning. Projecting polygonal bay visible on the east elevation flush beneath a large protruding shed dormer. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Central chimney. Additional detailing includes modest corner boards and frieze.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 46 Pooley Place is significant as a good representative example of a two-story, front-gabled, vernacular Victorian, urban frame residence with moderate mixed style detailing. Such simple folk structures embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 333



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-20)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 69 Pooley Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known George W. Gies, bldr Date of construction, if known 1916

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and aggregate

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 69 Pooley Place is set on a standard lot, located on the south side of the street. Pooley Place is a small, east-west, residential street that runs between Dewitt Street and Grant Street. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

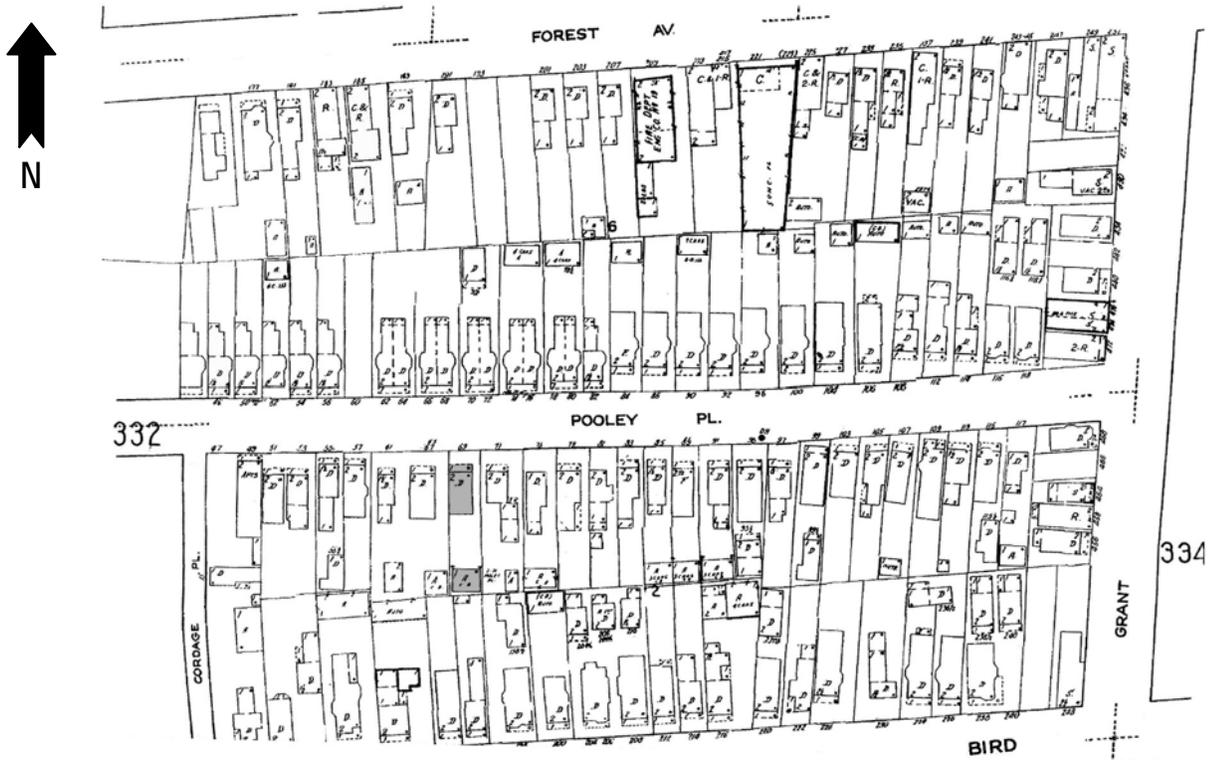
A two-and-one-half story, front gabled, vernacular, urban residence with Queen Anne influence. It has a rectangular plan and is set on a brick foundation. The façade has a full-width porch with brick columns that extend down into the foundation, open wood rail, and flat frieze. The main entrance is located in the east bay of the façade. A large tripe window grouping occupies the west bay. The second floor façade has an open porch with modern metal rail, supports, and awning, a porch entrance in the east bay over the entrance, and a large tripe window grouping in the west directly over the lower triple window. Exterior wall fabric is stucco with rock aggregate and brick. Fenestration is one-over-one double-hung wood sash and fixed. A paired window punctuates the front gable peak. A brick chimney rests on the western roof slope.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 69 Pooley Place is significant as a good representative example of a two-and-one-half story, front gabled, vernacular, urban residence with Queen Anne influence. Rarely seen stucco with rock aggregate exterior. Built for George W. Gies.

MAP: Sanborn Map (Revised 1986) – Plate 333



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 90 Pooley Place

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1901

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

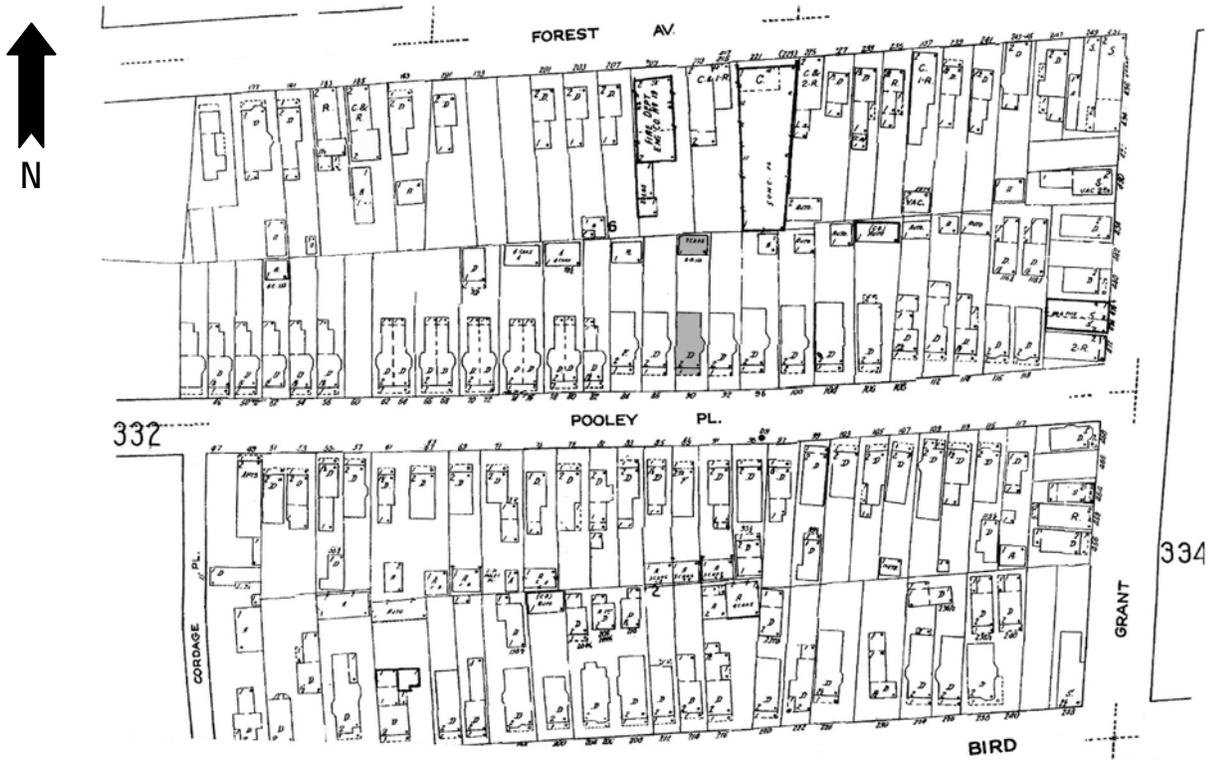
The two-family house at 90 Pooley Place is set on a standard lot, located on the north side of the street, toward its east end. Pooley Place is a small, east-west, residential street that runs between Dewitt Street and Grant Street. The property is located in a residential area of the north west section of the Grant-Ferry-Forest neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. The duplex has a rough rectangular plan and is set on a concrete foundation. The façade has a full-width porch with square column supports, open wood rail, small frieze, entry stair in the extreme west bay and similar entry stair in the extreme east bay topped by a ¼-width pediment. A main entrance is located in the extreme west bay of the façade. An additional main entrance is located in a recessed niche in the extreme east bay. Two large windows occupy the central section of the lower façade. The second floor façade has a ½-width open porch with modern metal rail and awning supports and a porch entrance in the west bay. A projecting polygonal oriel occupies the east bay. A two-story projecting, polygonal bay is visible on the east elevation beneath the slightly projecting side cross gable. Exterior wall fabrics are clapboard on the main block with decorative wood shingle in the gable end. Fenestration is one-over-one double-hung wood sash and fixed. A Palladian-like triple window grouping punctuates the front gable peak. Additional architectural details include modest corner boards and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 90 Pooley Place is significant as a good representative example of two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Built for George C. Pooley, for whom Pooley Place is named.

MAP: Sanborn Map (Revised 1986) – Plate 333



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 49 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1888

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
-------------	---	--------------------------------	--	---

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The double house at 49 Potomac Avenue is set on a short widened rectangular lot, located on the south side of the street, on the block between Niagara Street and West Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

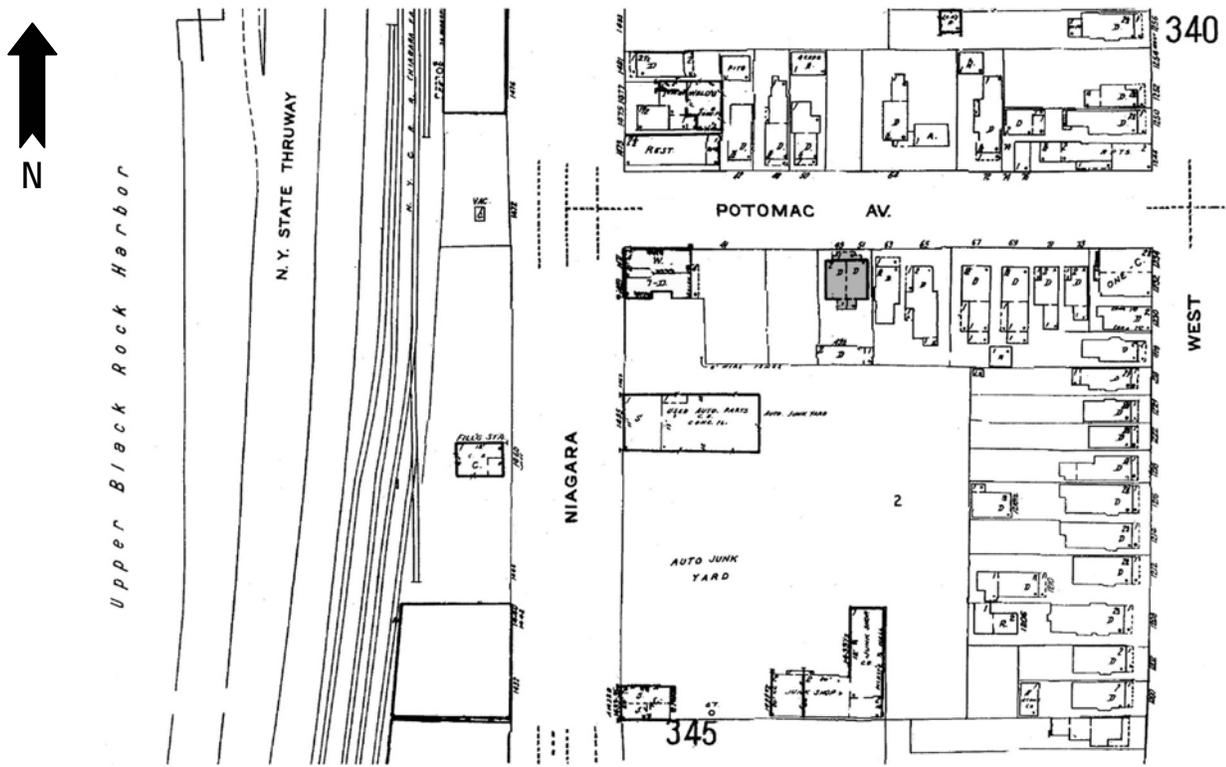
A two-story, hipped roof, urban, brick, vernacular structure of modest period styling and detail. It has a symmetric largely rectangular plan and is set on a stone foundation. The two main entrances are located centrally on the façade, reached by a small, spindled wood railed, entry porch with metal railed stair. Matching roofed, triple windowed, polygonal oriels set in either side bay of the lower façade. The second-story façade is defined by simple, even spaced, single windowing. Two hipped roof dormers with small multi-paned window accent set on the front roof slope. Simple subtly arched windowing on the elevations. Brick chimneys visible low on the side roof slopes. Exterior wall fabric is brick, asphalt shingle on the dormers. Fenestration is primarily one-over-one double-hung wood sash with and fixed, with multiple panes; large stone sills and lintels on the façade. Additional detailing includes simple trim and molding on the bays and dormers.

A backhouse occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 49 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, brick, vernacular structure of modest period styling and detail. It may have originally been built as a residence, or as the carriage house to the dwelling that formerly stood at 1465 Niagara St.

MAP: Sanborn Map (Revised 1986) – Plate 339



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 65 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1874

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

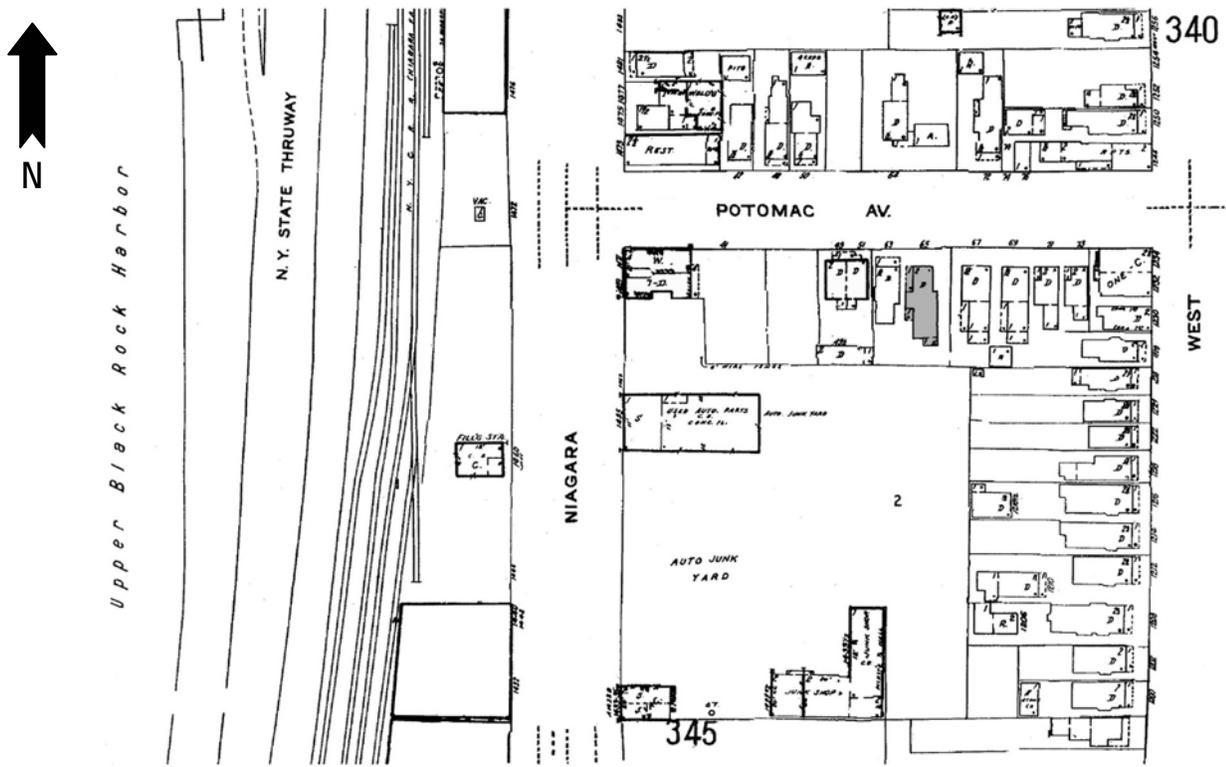
The single-family house at 65 Potomac Avenue is set on a shortened rectangular lot, located on the south side of the street, on the block between Niagara Street and West Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

A two-story, cross gabled, urban, frame folk residence with moderate Italianate styling and detail. It has an irregular block plan and is set on a stone foundation. The façade is defined by symmetric tiered arched windowing with modest enframements, two spaced evenly at each story. The gable peak is punctuated by an unusual quatrefoil window. A flat roofed porch with column supports, solid wood rail, modest entablature, and front entry stair sets in the west ell of the cross gable. The main entrance is located under the porch set in the front face of the cross under the porch. A similar arched window sets in the second-story of the front face of the cross gable, over the entrance. Brick chimney visible on the west roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily double-hung wood sash with 1/1, 2/1, and 2/2 lights and fixed. Additional detailing includes simple trim and bracketing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 65 Potomac Avenue is significant as a good representative example of a two-story, cross gabled, urban, frame folk residence with moderate Italianate styling and detail. Such vernacular folk structures often embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound. Built for Benjamin Hayden, on a portion of the lot he owned that extended along Potomac Avenue from Niagara Street to West Avenue. The house still retains its outstanding windows.

MAP: Sanborn Map (Revised 1986) – Plate 339



340PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-23)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 94 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 94 Potomac Avenue is set on a short rectangular lot, located on the north side of the street, on the block between West Avenue and Dewitt Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

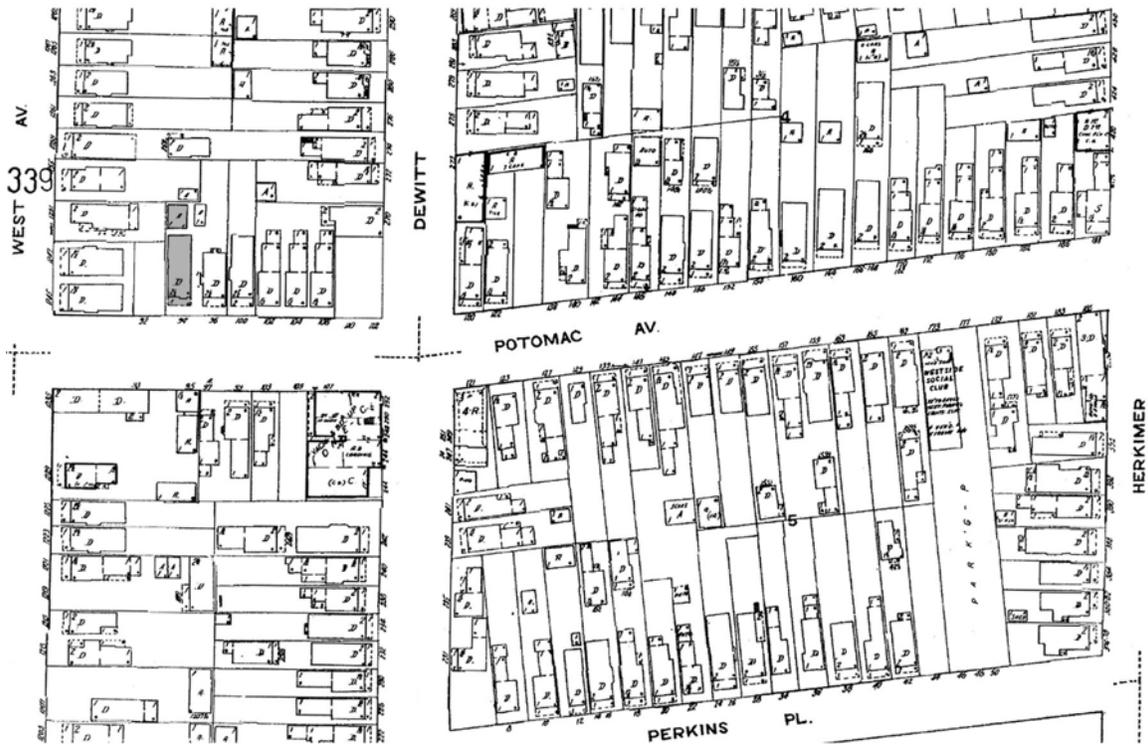
A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width porch with simple slender square column supports, latticework rail, modest entablature with subtle molding, lattice covered foundation, and an entry stair in the west. The framed main entrance is located in the west bay of the façade. A small framed window sets to the west of the entrance, in the far side bay. A tripled window polygonal bay occupies the east bay. The second floor façade has an open porch with latticework rail and metal awning supports, a porch entrance in the west bay aligned over the main entrance, and a triple windowed polygonal oriel in the east over the lower bay. The pent enclosed front gable end is accented with decorative wood shingling and punctuated by a framed paired window. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner pilasters, frieze with lookouts, trim and framing.

A garage sets at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 94 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for John H. Crocker.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-17)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 96 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 96 Potomac Avenue is set on a narrow longer rectangular lot, located on the north side of the street, on the block between West Avenue and Dewitt Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

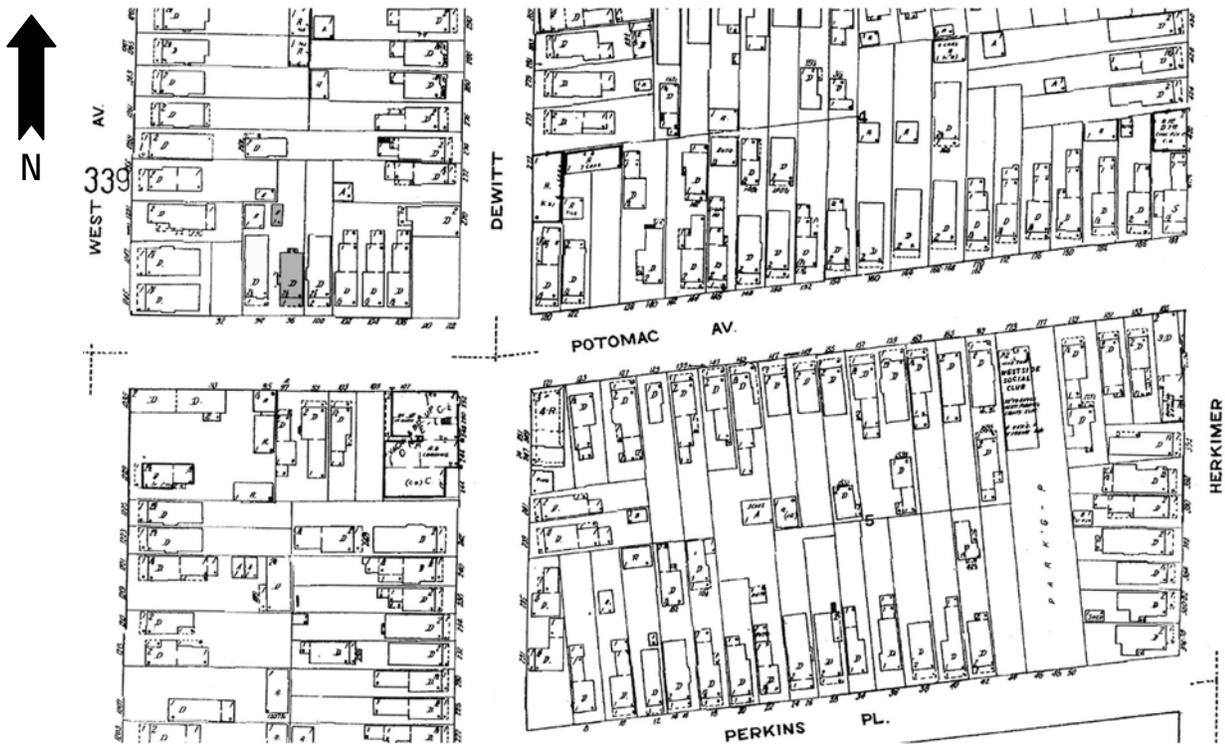
A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width shed roof porch with $\frac{3}{4}$ -height paired slender column supports set atop thick patterned wood paneled piers and rail, moderate molded entablature, lattice at the sides, and decorated pediment over the entry stair in the west. The main entrance is located in the west bay of the façade. A single window sets to the west of the entrance, in the far side bay. A triple window group with latticed panes occupies the east bay. The second floor façade has a single window set in the west bay and a triple windowed polygonal oriel in the east. The pent enclosed front gable end is accented with decorative wood shingling and punctuated by a paired window. Roofed and bracketed rectangular oriel visible on the west elevation above an additional side entrance. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

A small garage sets to the west in the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 96 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-18)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 148 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1914

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 148 Potomac Avenue is set on a narrow longer rectangular lot, located on the north side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

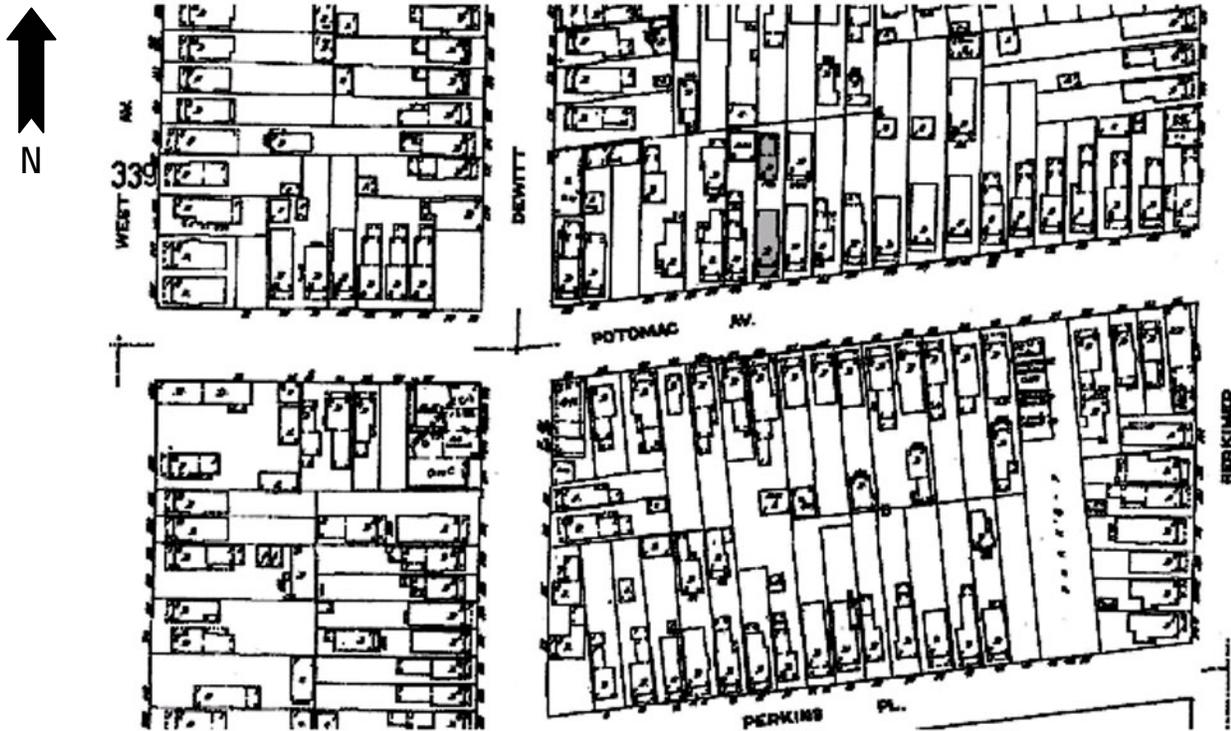
A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width porch with square column supports, solid clapboard rail, modest entablature, clapboard covered foundation, and an entry stair in the west. The main entrance is located in the west bay of the façade. A triple window group occupies the east bay. The second floor façade has an open porch with metal rail, a porch entrance in the west bay, and a triple windowed polygonal oriel in the east. The pent enclosed front gable end is accented with decorative wood shingling and punctuated by a paired window. Shallow full-height bay on the east elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner pilasters, frieze, and trim.

A backhouse occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 148 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Elizabeth Sheppard.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-19)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 150 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 150 Potomac Avenue is set on a narrow longer rectangular lot, located on the north side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

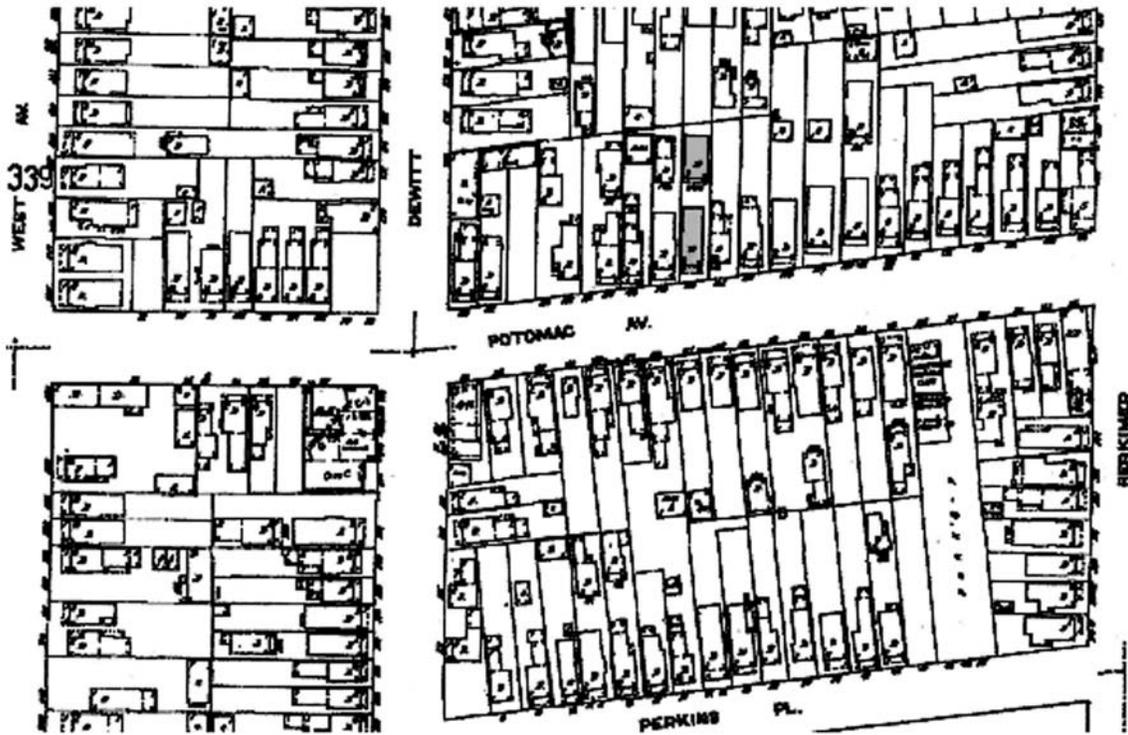
A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width porch with ½-height simple square column supports set atop capped stone piers that flow into the foundation, open wood rail, modest frieze, and an entry stair in the west. The main entrance is located in the west bay of the façade. A small window sets to the immediate west of the entrance. A triple window group occupies the east bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the west bay, and a triple windowed polygonal oriel in the east. The pent enclosed front gable end is accented with decorative wood shingling and punctuated by a recessed paired window. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze with sparse lookouts, and trim.

A back house occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 150 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-20)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 157 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

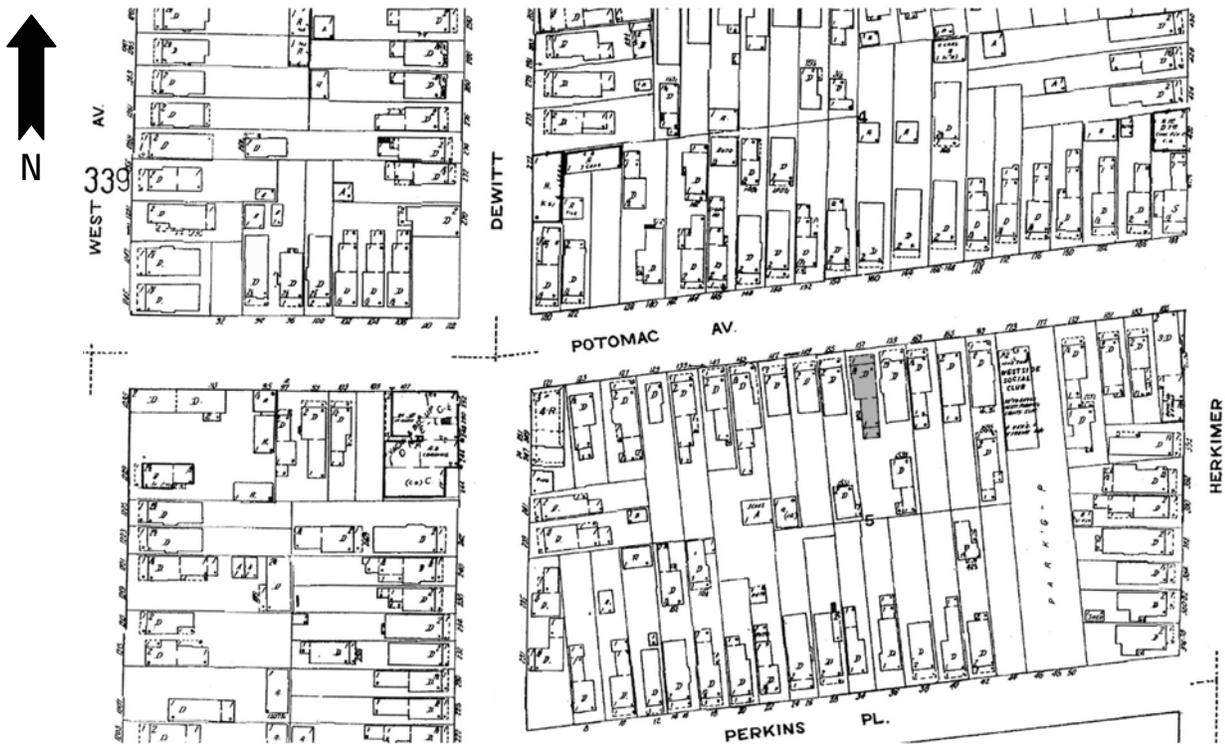
The single-family house at 157 Potomac Avenue is set on a narrow longer rectangular lot, located on the south side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

A one-and-one-half story, front gabled, urban, vernacular, frame residence with simple Queen Anne detailing. It has a slightly elled plan, with regular main block and narrowed rear extension. The façade has a full-width hipped roof porch with ¾-height square column supports set atop a shingle covered rail that continues down over the foundation, modest entablature, and a pediment over the railed entry stair in the far east. The main entrance is located in the east bay of the façade. A triple window group occupies the west bay. The open gable end is punctuated by a simple paired window. A gabled dormer with window accent sets on the east roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 157 Potomac Avenue is significant as a good representative example of a one-and-one-half story, front gabled, urban, vernacular, frame residence with simple Queen Anne detailing. Such vernacular folk structures often embellished with modest detailing of the prevailing architectural style were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-25)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 159 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1904

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 159 Potomac Avenue is set on a narrow longer rectangular lot, located on the south side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

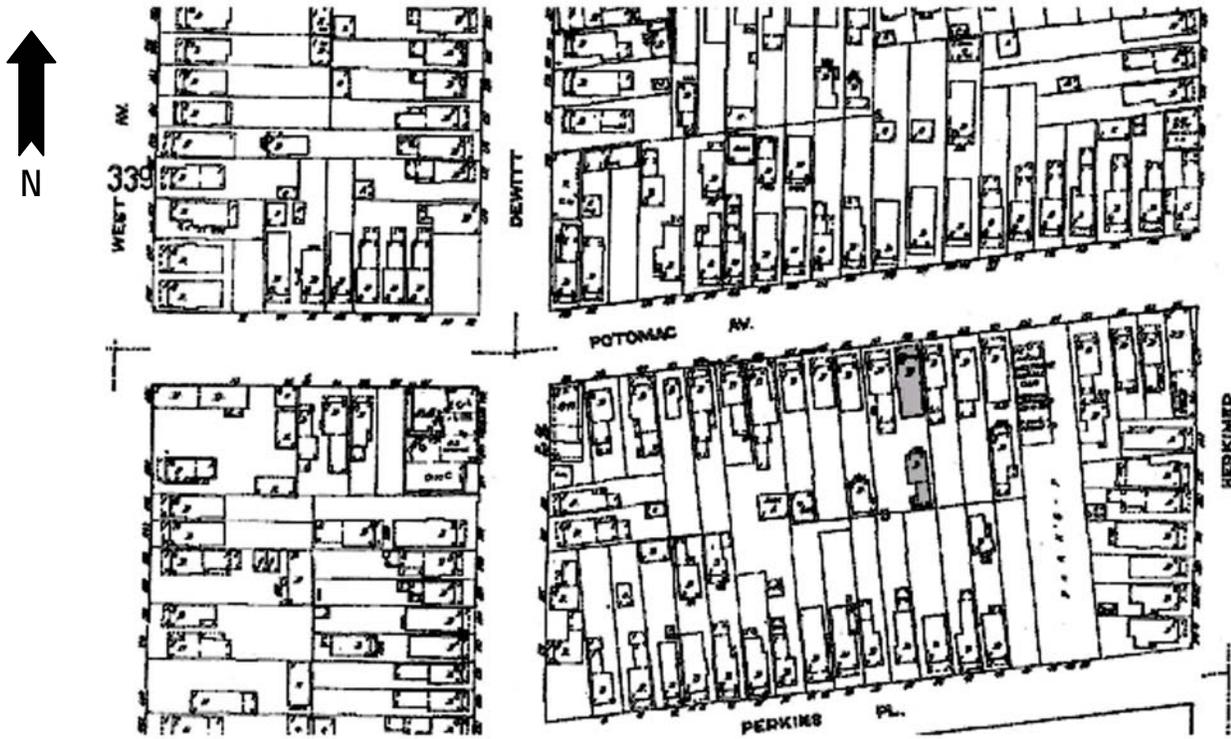
A two-story, hipped roof, urban, frame residence of modest Queen Anne influenced styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with $\frac{3}{4}$ -height column supports set on patterned wood piers, open wood rail, modest frieze, clapboard covered foundation, and an entry stair in the far east. The main entrance is located in the east bay of the façade. A window sets to the east of the entrance, in the far side bay. A triple windowed polygonal bay occupies the west bay. The second floor façade has an open porch with metal rail, a porch entrance in the west bay, and a triple windowed polygonal oriel in the west aligned over the lower bay. A pedimented dormer with triple window accent sets on the front roof slope. Gabled dormer on the west slope with lower tow-story polygonal bay on the west elevation. Brick chimney visible at the ridge of the gabled dormer. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner pilasters, frieze and cornice, and framing.

A backhouse occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 159 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest Queen Anne influenced styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Ellen Young.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 165 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

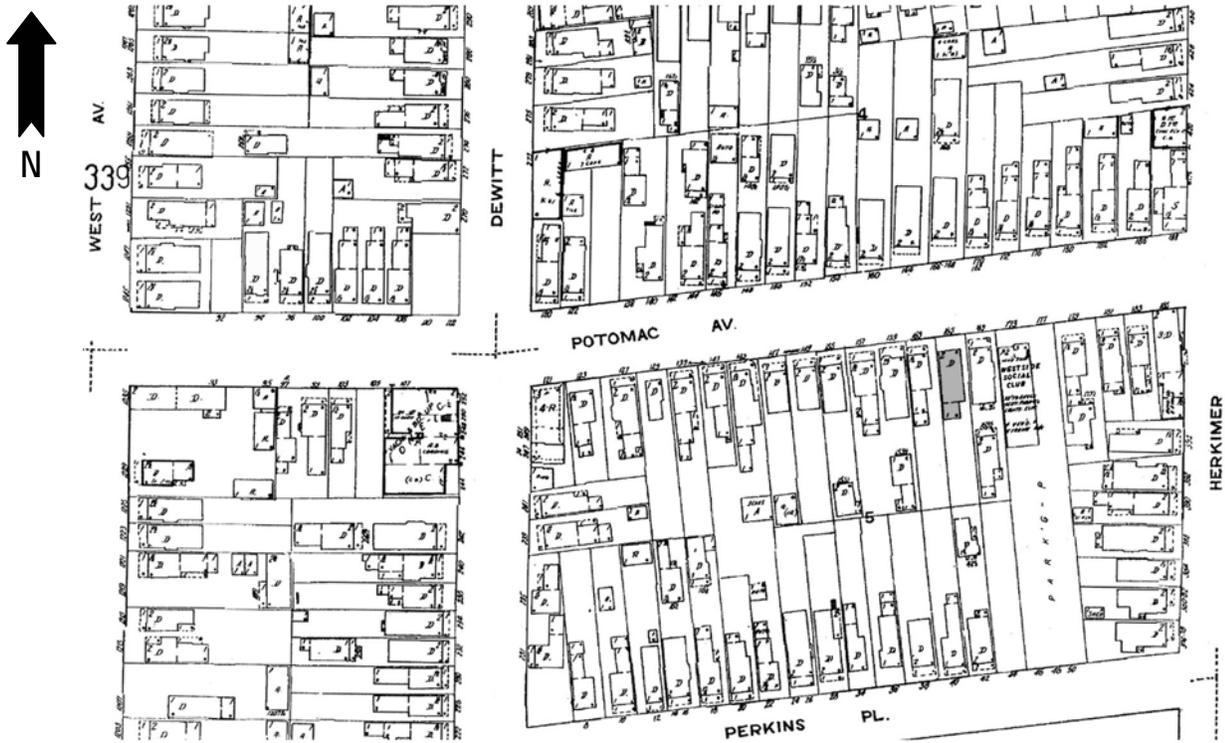
The two-family house at 165 Potomac Avenue is set on a narrow longer rectangular lot, located on the south side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, front gabled, urban, vernacular, frame residence of modest Queen Anne influenced styling. It has a regular rectangular plan with small rear extension. The façade has a full-width porch with simple square columns, patterned solid wood rail, modest entablature, and an entry stair in the far west. The main entrance is located in the west bay of the façade. Even single windowing defines the remainder of the façade; lower entrances and windows now boarded. The second floor façade has full-width flat roofed porch with simple square columns, open wood rail, and modest entablature. The porch entrance is located in the west bay and even single windowing defines the remainder of the façade, all aligned over the lower story features. Trimmed gable end. Brick chimney visible near the ridge on the west roof slope. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 165 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, vernacular, frame residence of modest Queen Anne influenced styling. Modestly styled urban singles and doubles of varying Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) Potomac Methodist Church
Address or Street Location 175 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Religious Current use Religious
Architect/Builder, if known _____ Date of construction, if known 1875

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input checked="" type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: enlarged 1887 and 1908; 1916 façade rebuilt 1929 Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

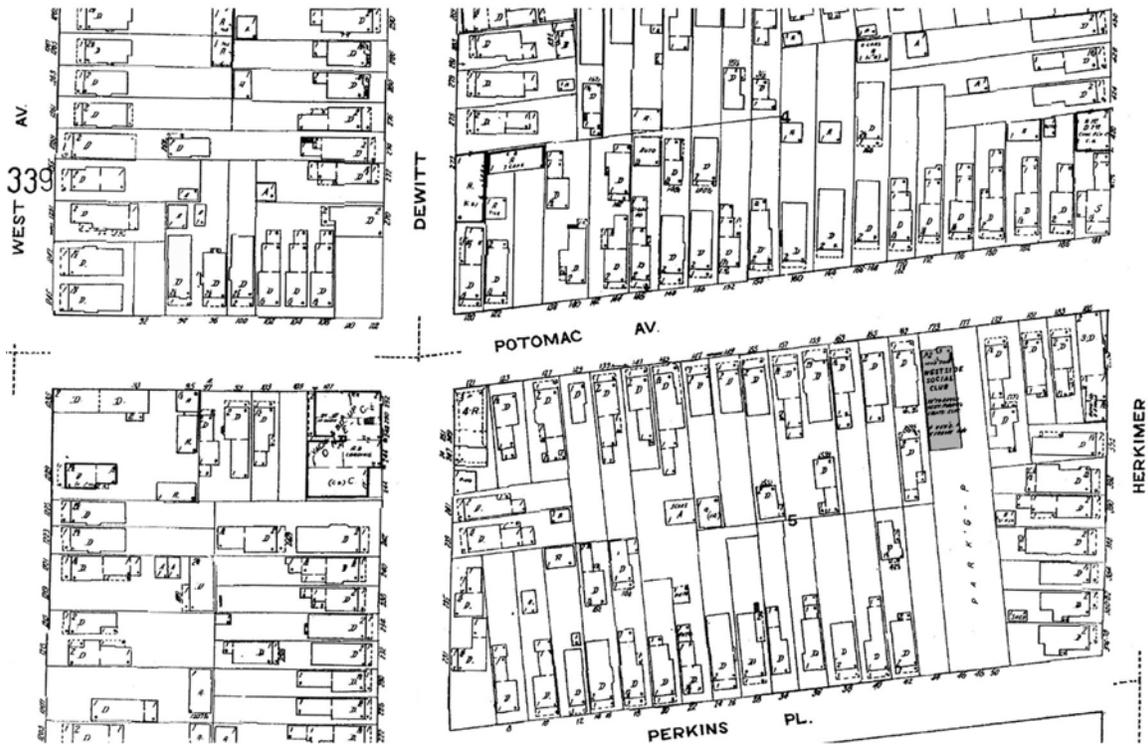
The building at 175 Potomac Avenue is set on a narrow longer rectangular lot, located on the south side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame and brick chapel of simple styling. It has a regular rectangular plan and is set on a stone foundation. The façade is dominated by a square flat roofed tower in the east bay. The double main entrance doors are located on the front face of the tower, set beneath a keystone-accented stone lintel and reached by a small entry stair with central rail. The second-story level of the tower is punctuated by pointed arch windowed; central circular oculus dot the upper story. Similar pointed arch windows of varying size and composite stain glass paning define the remainder of the open gabled façade. Open side cross gables set to either side at the far rear of the structure. Elevations are defined by even single windowing; first-story windows bricked and boarded over. Exterior wall fabric is brick on the façade and first-story, wood clapboard upper. Fenestration is fixed with stained glass and one-over-one double-hung wood sash; sills, lintels, and framing. Additional detailing includes reserved belt course, frieze, stone accents.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 175 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame and brick chapel of simple styling. Chapel built as a mission church for what eventually became the Second Free Methodist Church. The building was enlarged in 1887 and 1908, the present brick front was constructed in 1916, and was rebuilt in 1929.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 179 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885 / c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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The single-family house at 179 Potomac Avenue is set on a short standard lot, located on the south side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

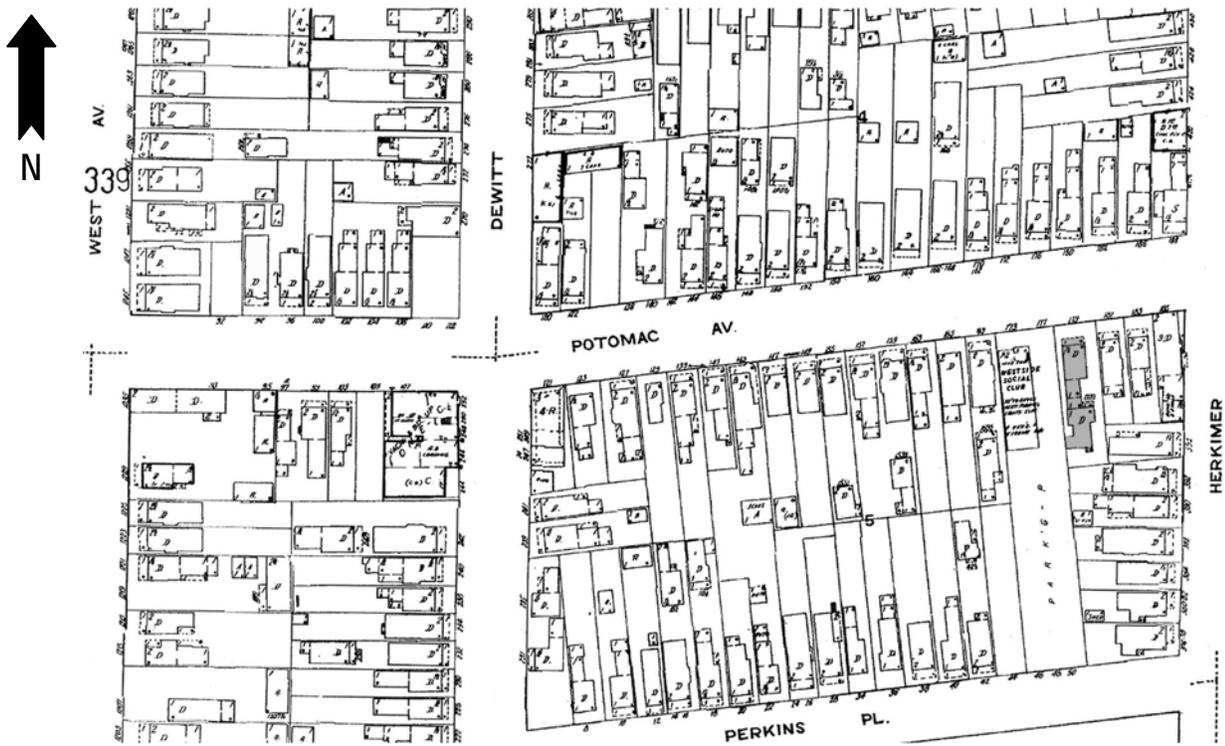
A mixed two and one story, front gabled, urban, vernacular, residence; probable workers' cottage with later front addition and period alterations. It has an elled plan, with regular main block and narrowed rear extension. The façade has a full-width porch with ¾-height square column supports set atop a clapboard covered rail, simple frieze, and an entry stair in the far west. The modestly framed main entrance is located in the west bay of the façade. A triple window group occupies the east bay. The second-floor façade has an open porch with metal rail, a porch entrance in the west and a large single window in the east bay. A small gabled dormer with window accent sets on the west roof slope. Brick chimney visible on the west roof slope of the rear section. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple trim and framing.

A conjoined back house occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 179 Potomac Avenue is significant as a good representative example of a mixed two and one story, front gabled, urban, vernacular, residence; probable workers' cottage with later front addition and period alterations. The rear of this house was built c. 1885. Such vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 182 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 182 Potomac Avenue is set on a short standard lot, located on the north side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

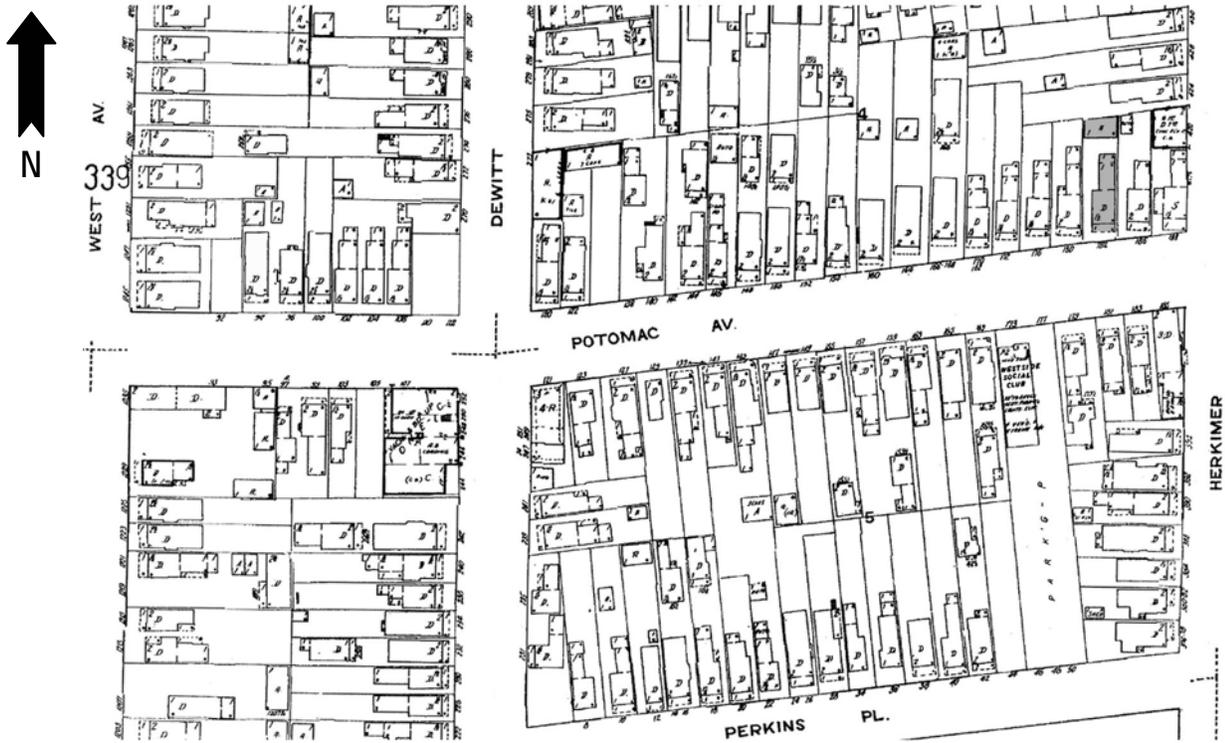
A one-and-one-half story, front gabled, vernacular, urban, frame, workers' cottage residence. It has a slightly elled plan, with regular main block and narrowed one-story rear extension. The façade has a full-width shed roof porch with ¾-height patterned square column supports set atop a shingle covered rail, simple frieze, and an open wood railed entry stair in the far east. The main entrance is located in the east bay of the façade. A large triple window group with transoms occupies the west bay. The open gable end is punctuated by a triple window group. A pedimented dormer with window accent sets on the east roof slope, extending through the roofline. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 182 Potomac Avenue is significant as a good representative example of a one-and-one-half story, front gabled, vernacular, urban, frame, workers' cottage residence. Such vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 186 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: raised to a full two stories in 1900 Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 186 Potomac Avenue is set on a short standard lot, located on the north side of the street, on the block between Dewitt Street and Herkimer Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

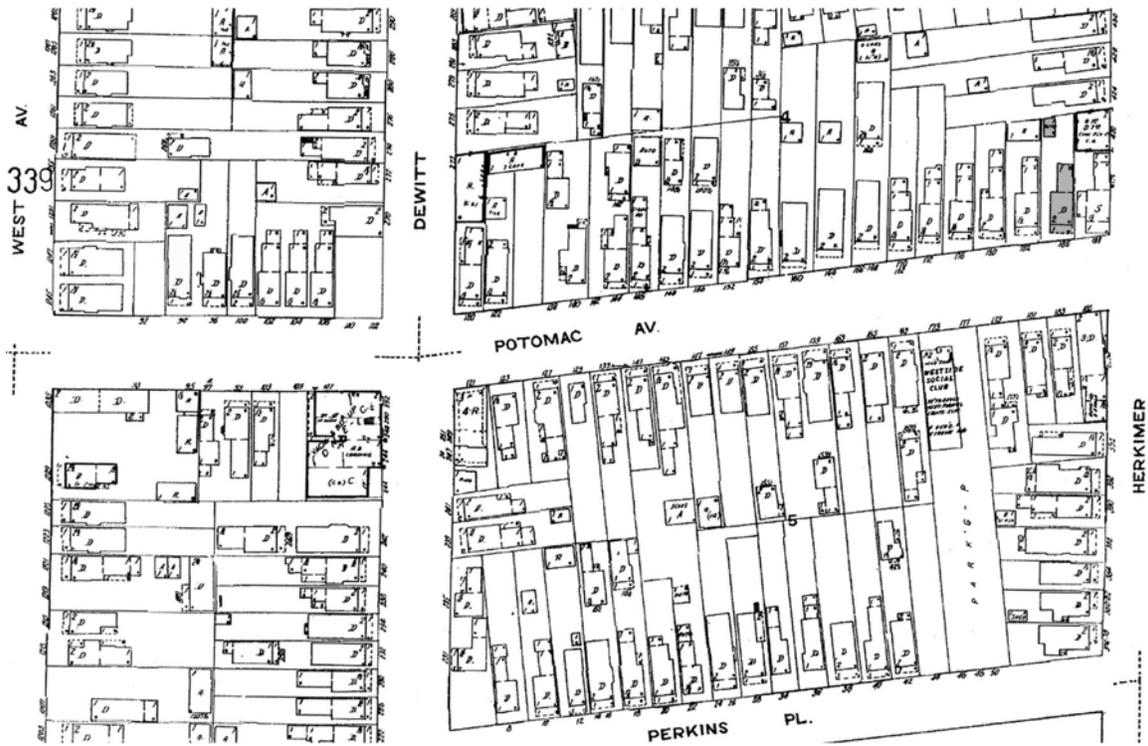
An early, simple, front gabled, vernacular, urban frame residence with simple Queen Anne detailing. It has a slightly elled plan, with regular main block and narrowed one-story rear extension; main block raised to a full two stories in 1900. The façade has a full-width hipped roof porch with ¾-height square column supports set atop a clapboard covered rail that continues down over the foundation, plain frieze, and a pediment over the metal railed entry stair in the far east. The framed main entrance is located in the east bay of the façade. A framed triple window group occupies the west bay. The second-story façade is defined by symmetric single windows with simple enframements set in either side bay; open gable end. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple trim.

A small garage sets in the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 186 Potomac Avenue is significant as a good representative example of an early, simple, front gabled, vernacular, urban frame residence with simple Queen Anne detailing. Such vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Houses, such as this, were common amongst early single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne style abound.

MAP: Sanborn Map (Revised 1986) – Plate 340



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 198 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1906

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

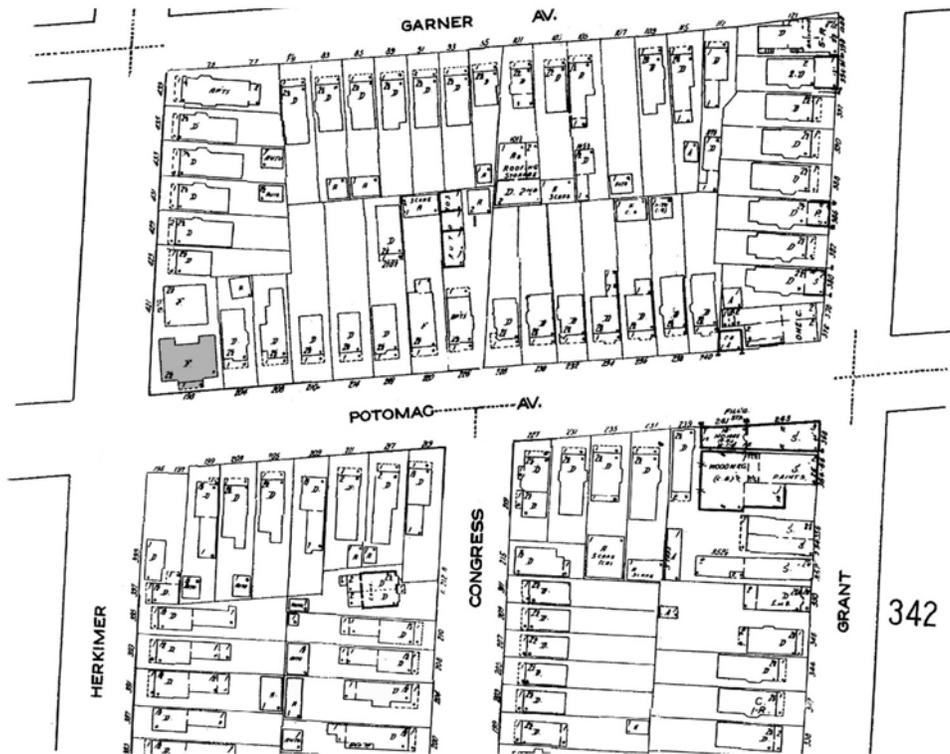
The multiple-family residence at 198 Potomac Avenue is set on a short trapezoidal corner lot, located on the north side of the street, at the west end of the block between Herkimer Street and Grant Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, hipped and lower cross gabled, urban, frame residence of mixed Queen Anne styling. It has a large symmetric plan and is set on a stone foundation. The facade is dominated by a central lower front gable with a shallow, full-height, rectangular bay beneath. A 1/2-width flat roofed porch with metal rail and supports, simple frieze, and central railed entry stair sets centrally on the facade. Two main entrances are located centrally, under the porch. A single window sets under the porch, to the outside of each entrance. Additional single windows set in either far side bay. The second floor facade is defined by even symmetric single windowing aligned over that of the first-story and accented with a lower central single window with pediment enframing. The closed lower front gable is punctuated by a Palladian window. A similar lower side gable sets on the west slope with a shallow, full-height, rectangular bay beneath. Windowing simple and even on the elevations. Multiple brick chimneys visible. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes moderate corner boards, frieze, framing, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 198 Potomac Avenue is significant as a good representative example of a two-and-one-half story, hipped and lower cross gabled, urban, frame residence of mixed Queen Anne styling. Moderate Queen Anne residences of varied styling and influences were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Four family frame tenement built for Jessica W. Schufeldt.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-23)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 203 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 203 Potomac Avenue is set on a short diagonal set standard lot, located on the south side of the street on the block between Herkimer Street and Congress Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

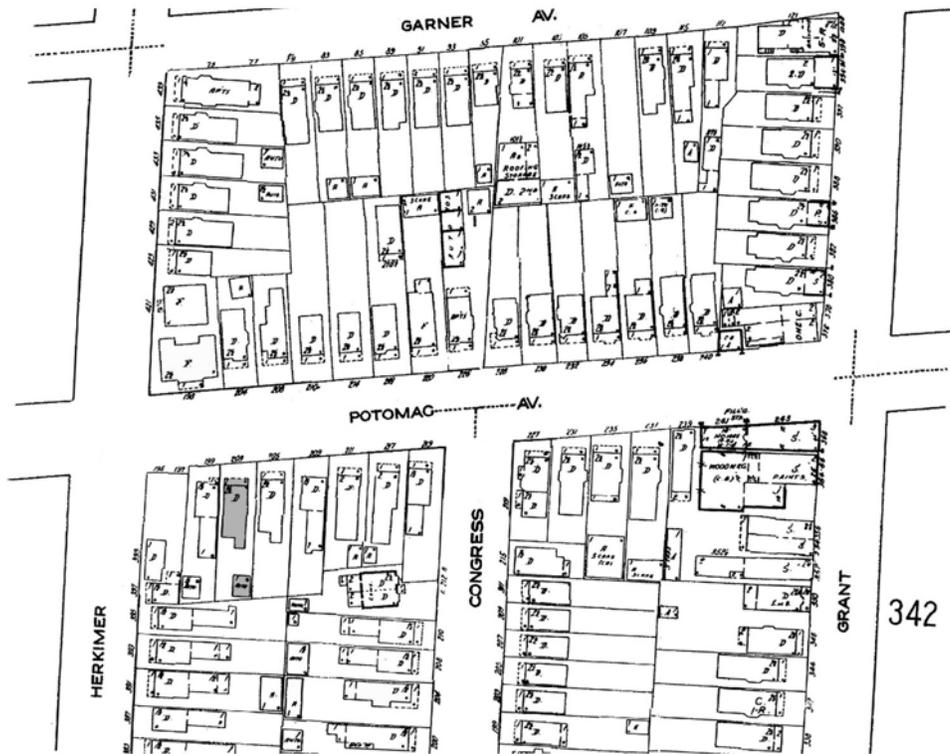
A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a rectangular plan with small rear extension and is set on a stone foundation. The façade has a full-width porch with $\frac{3}{4}$ -height square column supports set on a clapboard covered rail that extends down into the clapboard foundation covering, modest frieze space, windowed west side, and a metal railed entry stair in the far west. The main entrance is located in the west bay of the façade. Two evenly spaced single windows occupy the remainder of the lower façade. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the west bay, and a polygonal oriel in the east. The pent enclosed front gable end is punctuated by a paired window group. A brick chimney sets near the ridge on the east roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional leading. Additional detailing includes reserved frieze with brackets, trim, and framing.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 203 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 204 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: added enclosed porch in 1925 Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 204 Potomac Avenue is set on a short standard lot, located on the north side of the street on the block between Herkimer Street and Grant Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

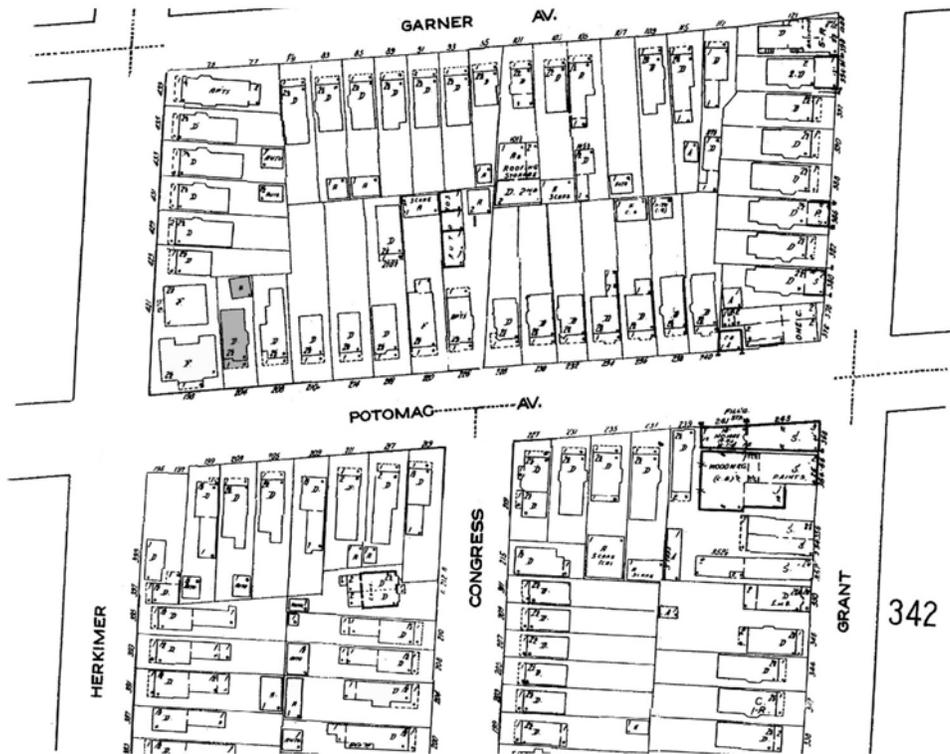
A two-and-one-half story, hipped and lower cross gabled, urban, frame residence of moderate Queen Anne style. It has a rectangular plan. The façade has an added (1925) full-width, flat roofed, enclosed, brick porch with patterned brick pilasters, triple window group accents, and modest frieze. The main entrance is located in the west bay of the porch façade, within a plain surround. The second floor façade has an open porch with metal rail, a porch entrance in the west bay, and a rectangular oriel in the east flush beneath a projecting lower front gable with closed end and single window accent. Similar projecting, open, lower, side cross gable on the west roof slope with polygonal bay beneath. Exterior wall fabric is wood clapboard and brick. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved trim and framing.

A garage sets at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 204 Potomac Avenue is significant as a good representative example of a two-and-one-half story, hipped and lower cross gabled, urban, frame residence of moderate Queen Anne style. Moderate Queen Anne residences of varied styling and influences were common housing for families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-24)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 220 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input checked="" type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 220 Potomac Avenue is set on a standard lot, located on the north side of the street on the block between Herkimer Street and Grant Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

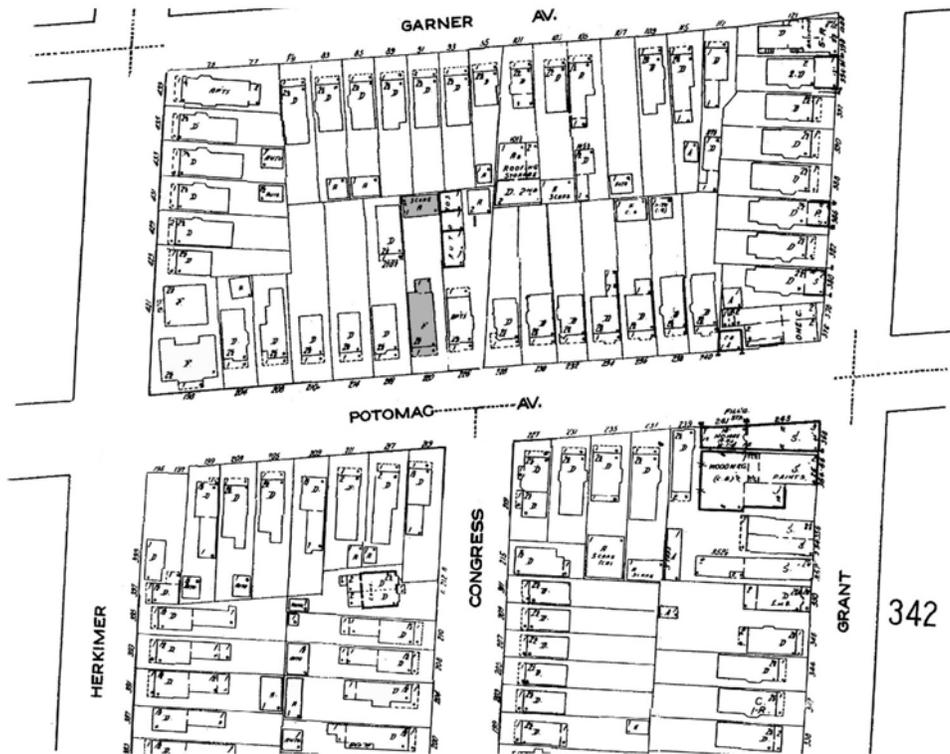
A two-and-one-half story, hipped and lower gabled, urban, frame residence of simple Queen Anne influenced style. It has a rectangular plan with small rear extension and is set on a stone foundation. The façade has a full-width hipped roof porch with metal rail and supports, simple frieze space, and a railed entry stair in the west. Two main entrances are located in the west bay of the façade. A triple window group occupies the east bay. The second floor façade has a triple windowed polygonal oriel in the east bay and a ½-width open porch with metal rail and supports set in the west bay beneath a projecting lower front gable with closed end and single window accent. Several brick chimneys visible at the ridge. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and framing.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 220 Potomac Avenue is significant as a good representative example of a two-and-one-half story, hipped and lower gabled, urban, frame residence of simple Queen Anne influenced style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-25)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 228 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1894

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

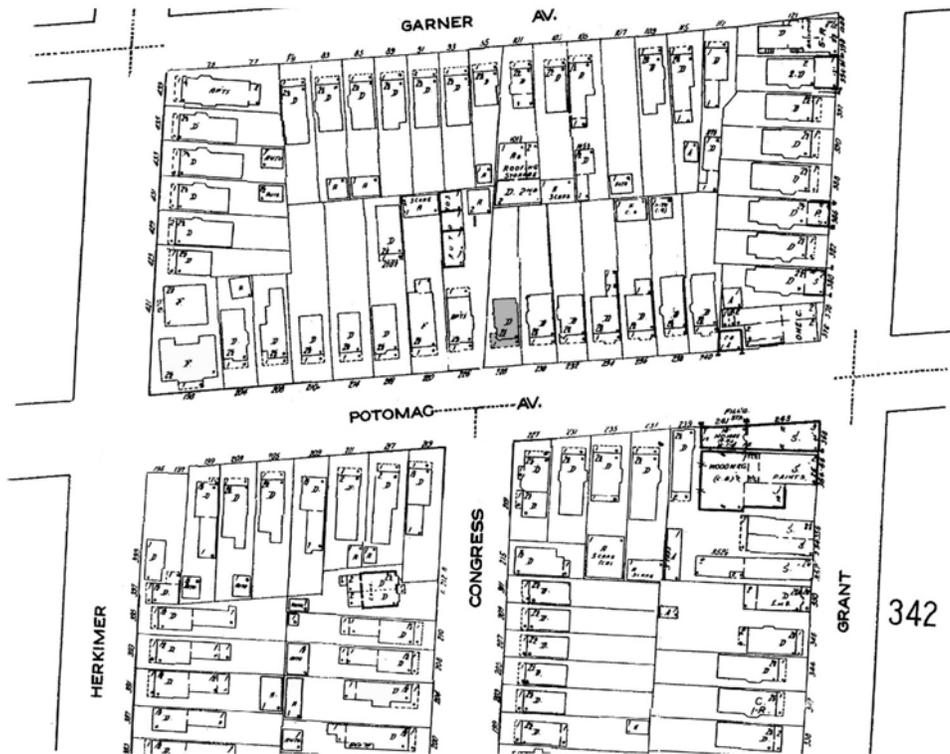
The single-family house at 228 Potomac Avenue is set on a slightly trapezoidal lot, located on the north side of the street on the block between Herkimer Street and Grant Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, hipped and lower gabled, urban, frame residence of Queen Anne design with reserved detail. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width shed roof porch with simple slender square column supports set atop a solid wood rail that extends down to cover the foundation and an entry stair in the east. The main entrance is located in the east bay of the façade. A large single window occupies the west bay. The second floor façade has a unique small engaged square tower with tall hipped roof set on angle at the west corner, a single window sets to the east, and a rectangular oriel sets in the east bay flush beneath an extended gabled dormer with single window accent which sets low on the east portion of the front roof slope. Large projecting closed side gable on the west roof slope with single window accent and lower rectangular oriel; polygonal bays beneath the oriel on the first-story. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, belt course, frieze, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 228 Potomac Avenue is significant as a good representative example of a two-and-one-half story, hipped and lower gabled, urban, frame residence of Queen Anne design with reserved detail. Modestly styled urban singles of varying Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for John Coulter.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 230 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. _____

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

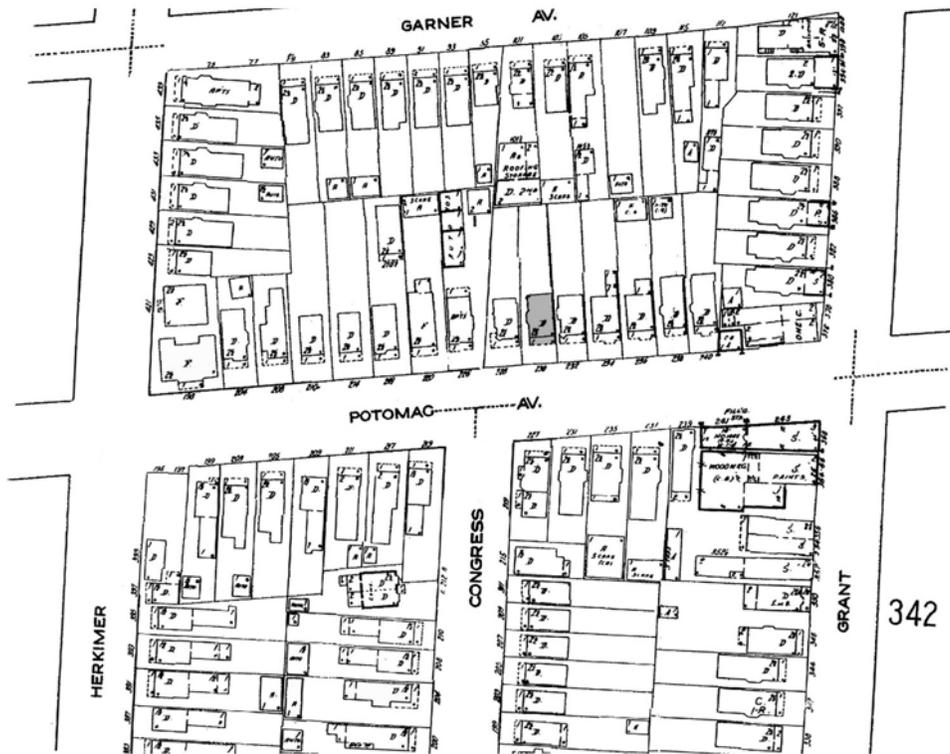
The single-family house at 230 Potomac Avenue is set on a slightly trapezoidal lot, located on the north side of the street on the block between Herkimer Street and Grant Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, side gabled, urban, frame residence with Colonial influenced design and subtle mixed styling. It has a rectangular plan. The façade has a full-width hipped roof porch with $\frac{3}{4}$ -height columns set atop clapboard covered rail, moderate entablature, and small ornamented pediment over the railed entry stair in the west. The main entrance is located in the west bay of the façade. A window sets to the west of the entrance, in the far side bay. A large triple window group occupies the east bay. The second floor façade has a single window in the west bay and a polygonal oriel in the east. A flared hipped roof dormer with triple window accent sets on the front roof slope. Closed side gable ends with windowing; additional lower side gable contained within the outlines of west side gable with a lower polygonal bay. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner boards, frieze with lookouts, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 230 Potomac Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence with Colonial influenced design and subtle mixed styling. Moderately styled urban singles of varying design, such as this, were typical housing for upper middle class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 231 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

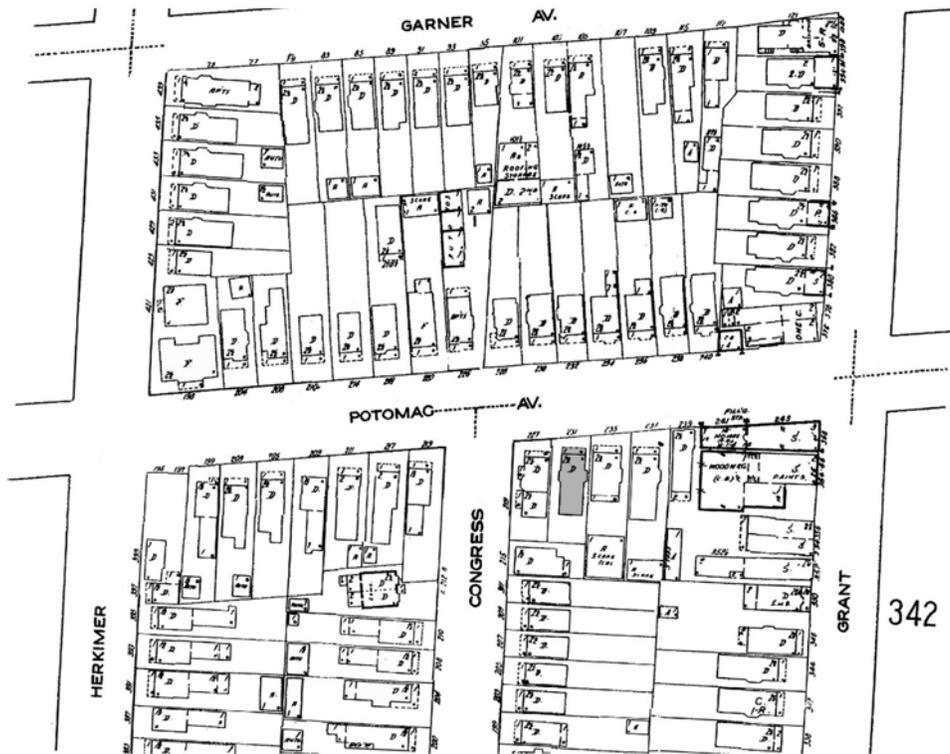
The two-family house at 231 Potomac Avenue is set on a short slightly trapezoidal lot, located on the south side of the street on the block between Congress Street and Grant Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with simple slender square column supports, open wood rail, plain frieze, and a railed entry stair in the far east. The main entrance is located in the east bay of the façade, set within a shallow ½-width rectangular vestibule. A window sets to the east of the entrance on the face of the vestibule, in the far side bay of the façade. A triple window group occupies the west bay. The second floor façade has an open porch with modern metal rail and awning supports, a porch entrance in the east bay, and a triple windowed polygonal oriel in the west. The pent enclosed front gable end is accented with decorative shingle and punctuated by a triple window. A gabled dormer sets on the west roof slope; full-height polygonal bay on the west elevation beneath. Brick chimney visible on the west to the rear of the dormer. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 231 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-31)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 238 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 238 Potomac Avenue is set on a widened standard lot, located on the north side of the street on the block between Herkimer Street and Grant Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a mixed residential area of the north west section of the Grant-Ferry-Forest Neighborhood.

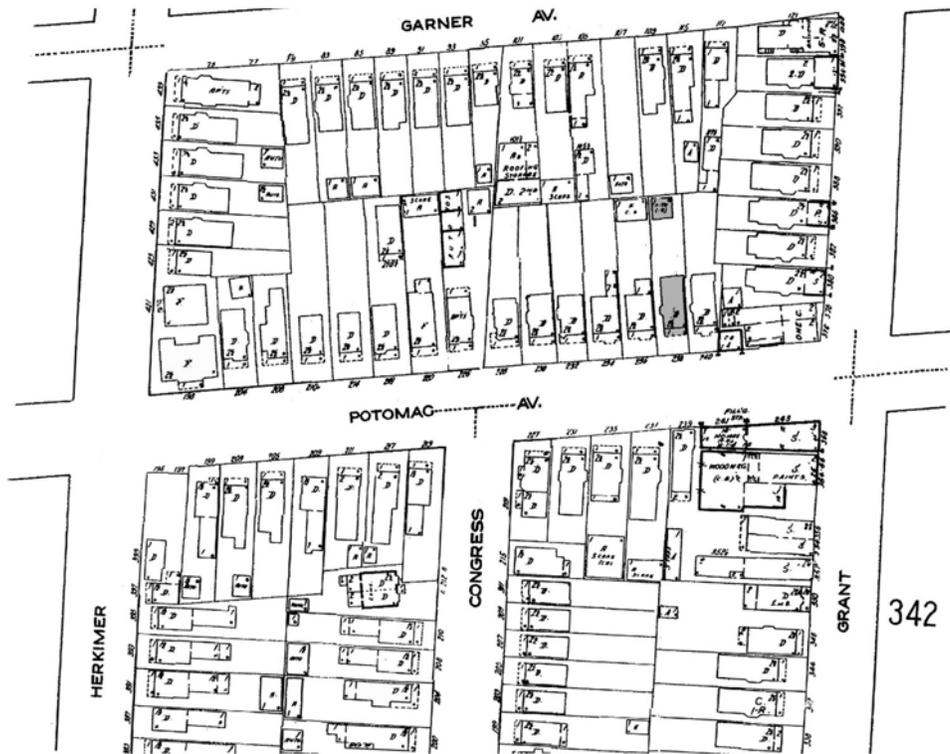
A two-and-one-half story, cross gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch - west ½ enclosed with solid stone base and ribboned single windowed with filled transom upper spaced by ½-height pilasters; east ½ entry porch with ½-height square columns set atop solid stone rail that extends down into the foundation, modest entablature, and entry stair. The main entrance is located in the east bay of the façade, under the porch. A single window sets to the west of the entrance. The second floor façade has a porch with modern metal rail and ½-width awning in the east, a porch entrance in the east bay, and a central triple windowed polygonal oriel. The pent enclosed front gable end is punctuated by a paired window. A small closed lower side gable sets on the west roof slope with a polygonal oriel beneath on the west elevation. Brick chimney visible near the ridge on the west slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

A garage sets in the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 238 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 341



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 279 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1897-1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

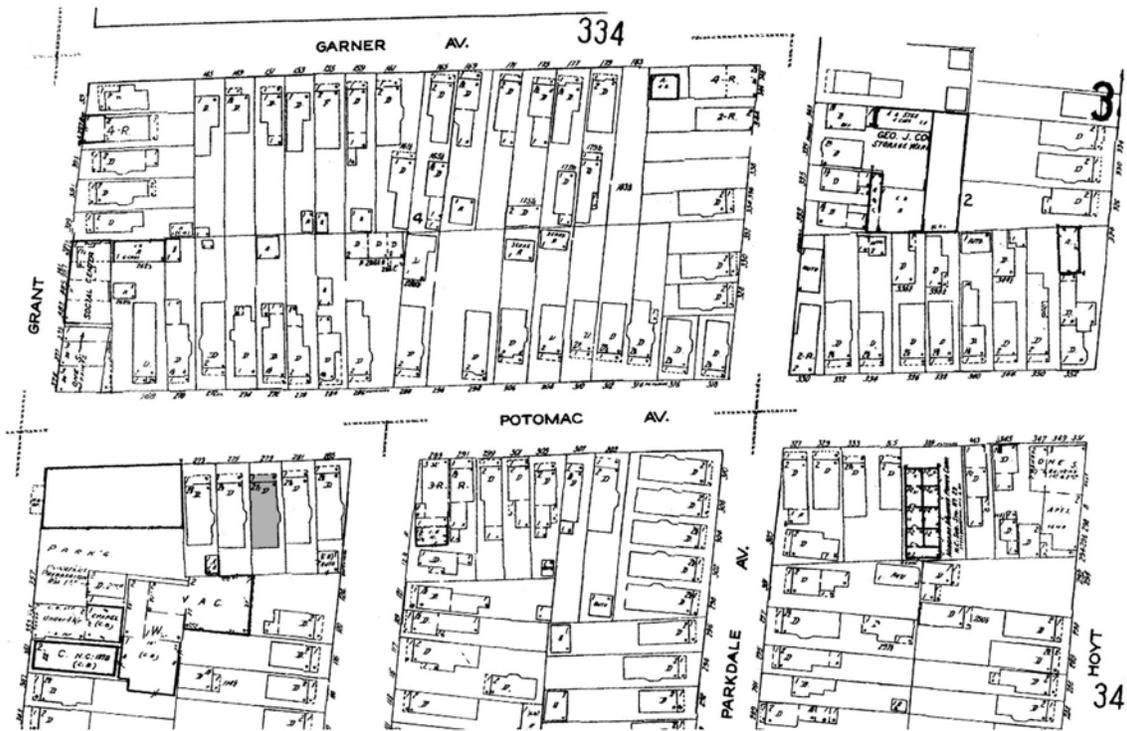
The two-family house at 279 Potomac Avenue is set on a short standard lot, located on the south side of the street on the block between Grant Street and Greenwood Place. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north central section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling. It has a rectangular plan. The façade has a full-width shed roof porch with 3/4-height simple square columns set atop a solid rail with shingled covering that extends over the foundation, modest frieze, and railed entry stair in the west. The main entrance is located in the west bay of the façade. A triple window group occupies the east bay. The second floor façade has a 1/2-width open porch in the west, set into to the first-story porch roof with 1/2-height wood posts, open wood rail, and a porch entrance aligned over the lower main entrance. A triple windowed polygonal oriel sets in the east bay. The pent enclosed front gable end is punctuated by a double window group. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze with lookouts, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 279 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for H. L. Conners & Co.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-32)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 285 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1897-1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 285 Potomac Avenue is set on a short trapezoidal lot, located on the south side of the street on the block between Grant Street and Greenwood Place. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north central section of the Grant-Ferry-Forest Neighborhood.

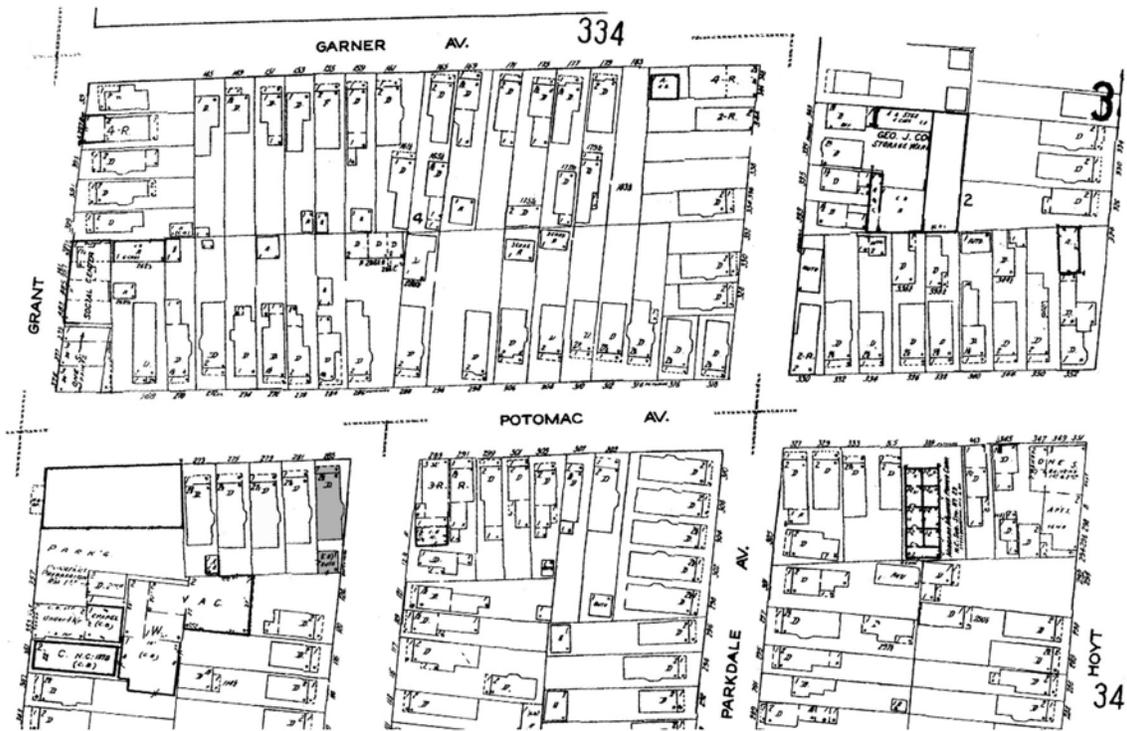
A two-and-one-half story, cross gabled, urban, frame residence with simple vernacular Queen Anne styling. It has a rectangular plan. The façade has a full-width shed roof porch with slender square columns, open wood rail, and a railed entry stair in the west. The main entrance is located in the west bay of the façade. Two single windows set in the east bay. The second floor façade has a remaining porch entrance in the west bay and a shallow triple windowed polygonal oriel in the east. The pent enclosed front gable end is punctuated by a triple window group. Two-story polygonal bay roofed by a small lower side gable on the east elevation; exterior brick chimney bisects gable and bay. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze with lookouts, and trim.

A garage sets at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 285 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with simple vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for H. L. Connors & Co.

MAP: Sanborn Map (Revised 1986) – Plate 342



342PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-33)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 308 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 308 Potomac Avenue is set on a standard diagonal set lot, located on the north side of the street on the block between Grant Street and Parkdale Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north central section of the Grant-Ferry-Forest Neighborhood.

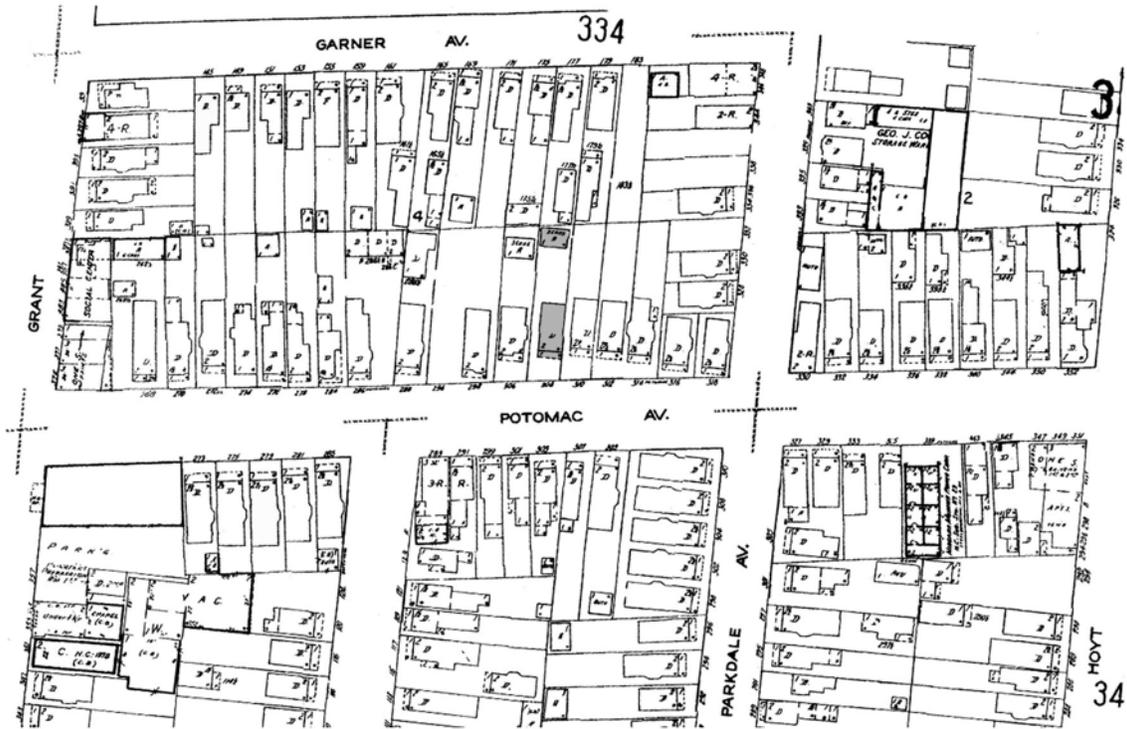
A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a regular rectangular plan and is set on a stone foundation. The façade has a full-width shed roof porch with $\frac{3}{4}$ -height square columns set atop a solid wood rail with clapboard covering that extends down over the foundation, modest entablature, and decorative pediment over the open wood railed entry stair in the east. The main entrance is located in the east bay of the façade. A shallow triple windowed polygonal bay occupies the west bay. The second floor façade has a small curved oriel with single window accent in the east bay and a shallow triple windowed polygonal oriel in the west aligned over the lower bay. The pent enclosed front gable end is punctuated by a recessed paired window. Shallow rectangular oriel visible on the west elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 308 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-28; N-29)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 327 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1917

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 327 Potomac Avenue is set on a short trapezoidal corner lot, located on the south side of the street, at the west end of the block between Grant Street and Parkdale Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north central section of the Grant-Ferry-Forest Neighborhood.

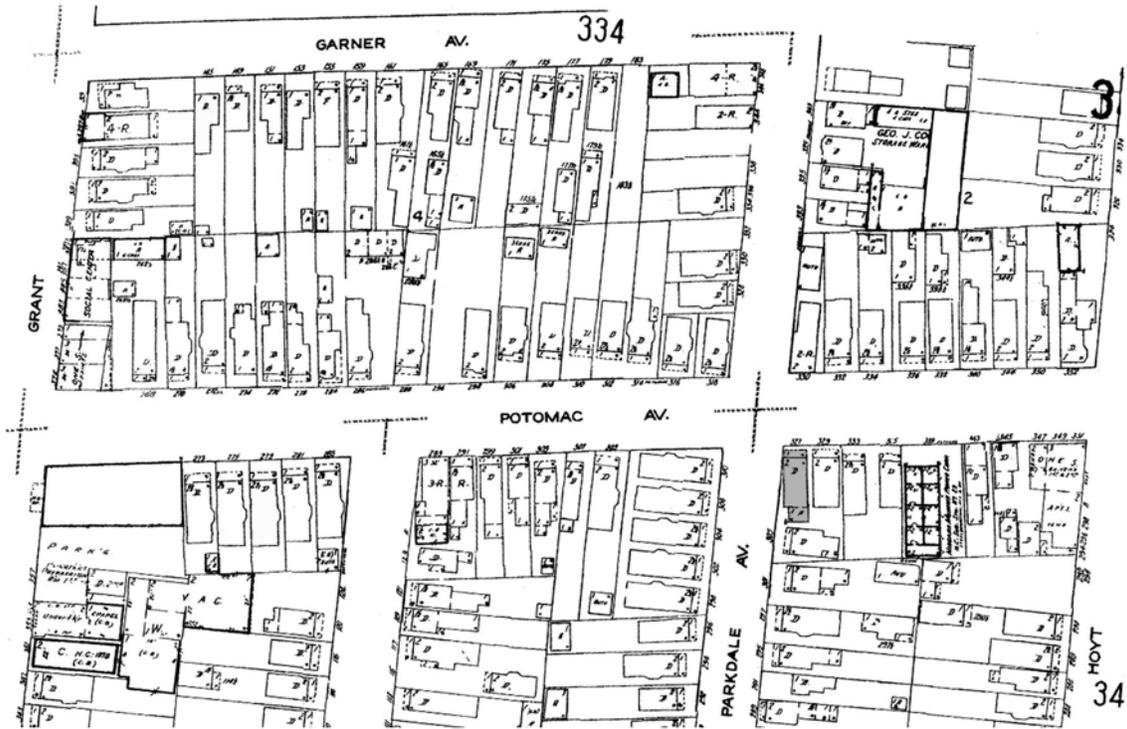
A two-story, hipped roof, urban, frame residence of modest mixed period vernacular styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with thick patterned square columns, solid wood rail, moderate frieze space with flattened arch cutouts, shingle covered foundation, and an entry stair in the east. The main entrance is located in the east bay of the façade. A slightly projecting paired window group occupies the west bay. The second floor façade has an open porch with ½-height wood posts and open wood rail, a porch entrance in the east aligned over the lower entrance, and a similar slightly projecting paired window group in the west bay. A hipped roof dormer with paired window accent sets centered on the front roof slope. Shallow, multiple-story rectangular oriel visible on the west elevation. Additional side entrance at the rear on the west elevation. Several brick chimneys visible. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily double-hung wood sash with 1/1 and 6/1 lights and fixed. Additional detailing includes simple frieze and framing.

Connected garage at the rear.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 327 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed period vernacular styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Two-family dwelling built for John F. Klopp.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-34)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 333 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1885

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: raised to two-stories in 1924; second-story porch Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

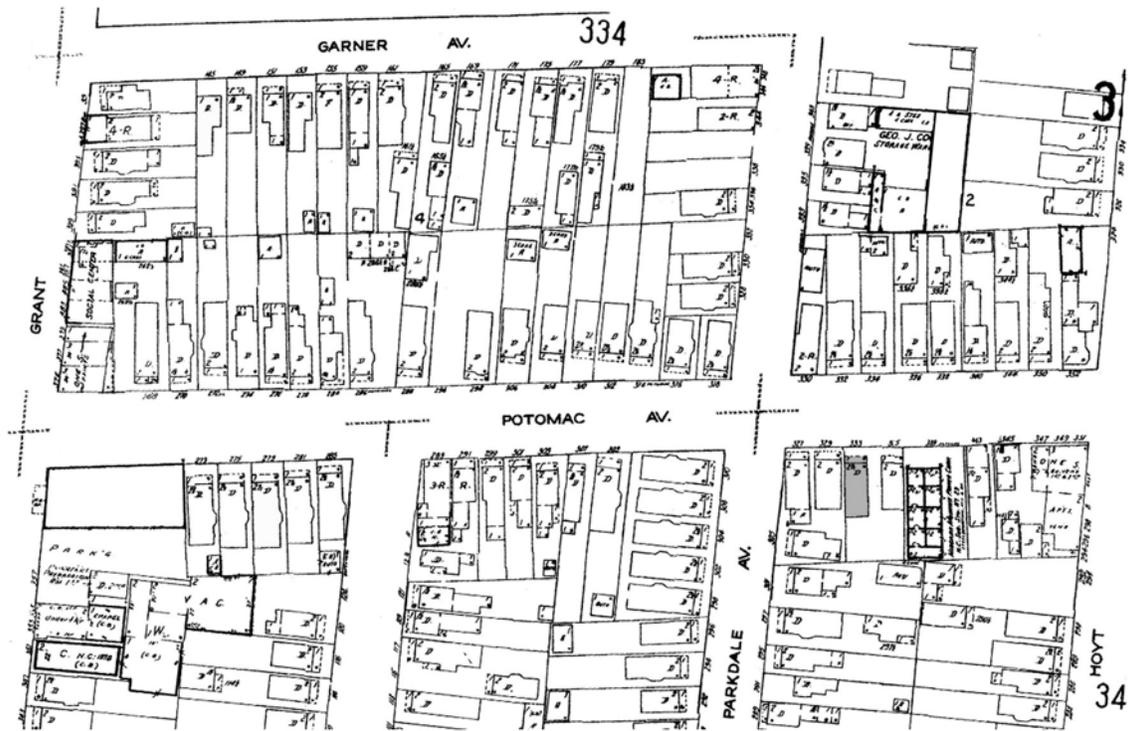
The two-family house at 333 Potomac Avenue is set on a short standard lot, located on the south side of the street on the block between Grant Street and Parkdale Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north central section of the Grant-Ferry-Forest Neighborhood.

An early, simple, front gabled, urban, frame residence with modest vernacular styling of a Queen Anne influence. It has a regular rectangular plan; it was raised to a full two-stories in 1924. The façade has a full-width flat roofed porch with 3/4-height square columns set atop a solid decorative shingled rail, modest frieze, and short entry stair in the west. The main entrance is located in the west bay of the façade, set within an enclosed rectangular vestibule. Two single windows occupy the remainder of the façade. The second floor façade has a remaining porch entrance in the west and a paired window in the east bay. The pent enclosed front gable end is punctuated by a paired window. A gabled dormer sets on the east roof slope. Additional side entrance visible at the rear on the west elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 333 Potomac Avenue is significant as a good representative example of an early, simple, front gabled, urban, frame residence with modest vernacular styling of a Queen Anne influence. This house's roof was raised to provide a full two stories in 1924. Such vernacular structures embellished with modest detailing and varying additions were a practical alternative to the more high-styled homes of the time. Modestly styled urban singles and doubles of varied Queen Anne influence were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 342



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-35)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 370 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

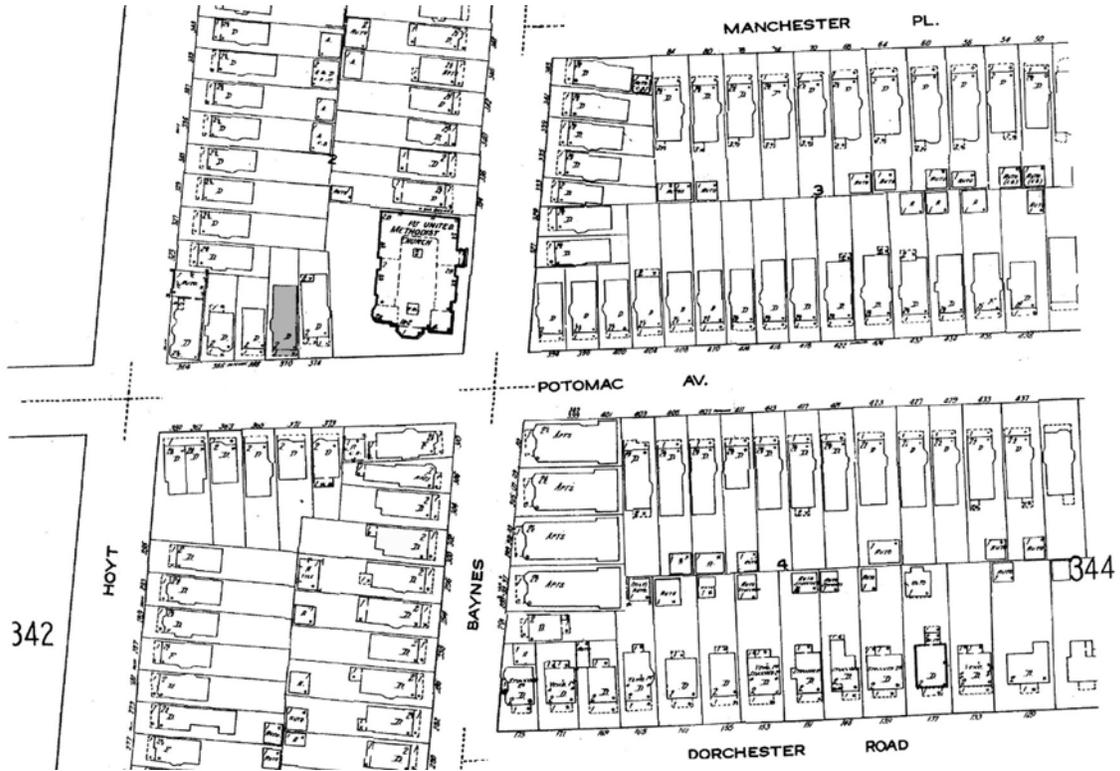
The two-family house at 370 Potomac Avenue is set on a shortened trapezoidal lot, located on the north side of the street on the block between Parkdale Avenue and Baynes Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north central section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a rectangular plan. The façade has a full-width porch with metal rail and supports, small molded frieze with slight extended eaves, and a railed entry stair in the east. The main entrance is located in the east bay of the façade. A small window sets to the east of the entrance, in the far side bay. A paired window occupies the west bay. The second floor façade has a metal railed porch with 2/3-width awning in the east, a porch entrance in the east bay, and a triple windowed polygonal oriel in the west. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a framed triple window. Shallow full-height projection on the east elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner pilasters, frieze, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 370 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Edward H. Pellman.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-25)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 374 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1896

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

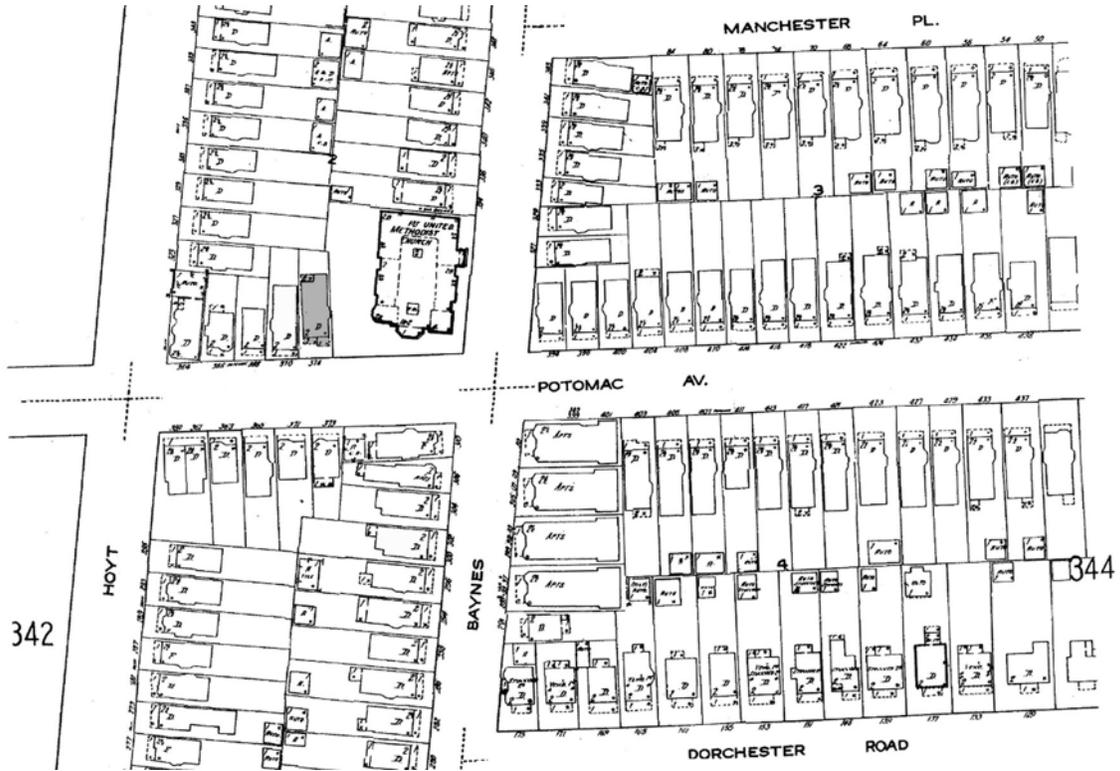
The two-family house at 374 Potomac Avenue is set on a shortened trapezoidal lot, located on the north side of the street on the block between Parkdale Avenue and Baynes Street. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north central section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of moderate vernacular Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with slender square columns, ½-height wood posts with finials, open wood rail, modest entablature, pedimented extension in the east bay, and an entry stair in the west. The main entrance is located centrally on the façade. Windowing defines either side bay. The second floor façade has a ½-width open porch in the west bay, with ½-height topped wood posts, lattice rail, and entrance. A triple windowed polygonal oriel sets in the east. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a framed double window group. Two-story polygonal bay roofed by a small lower side gable on the east elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 374 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of moderate vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for H. H. Lanctot.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-24)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 396 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input checked="" type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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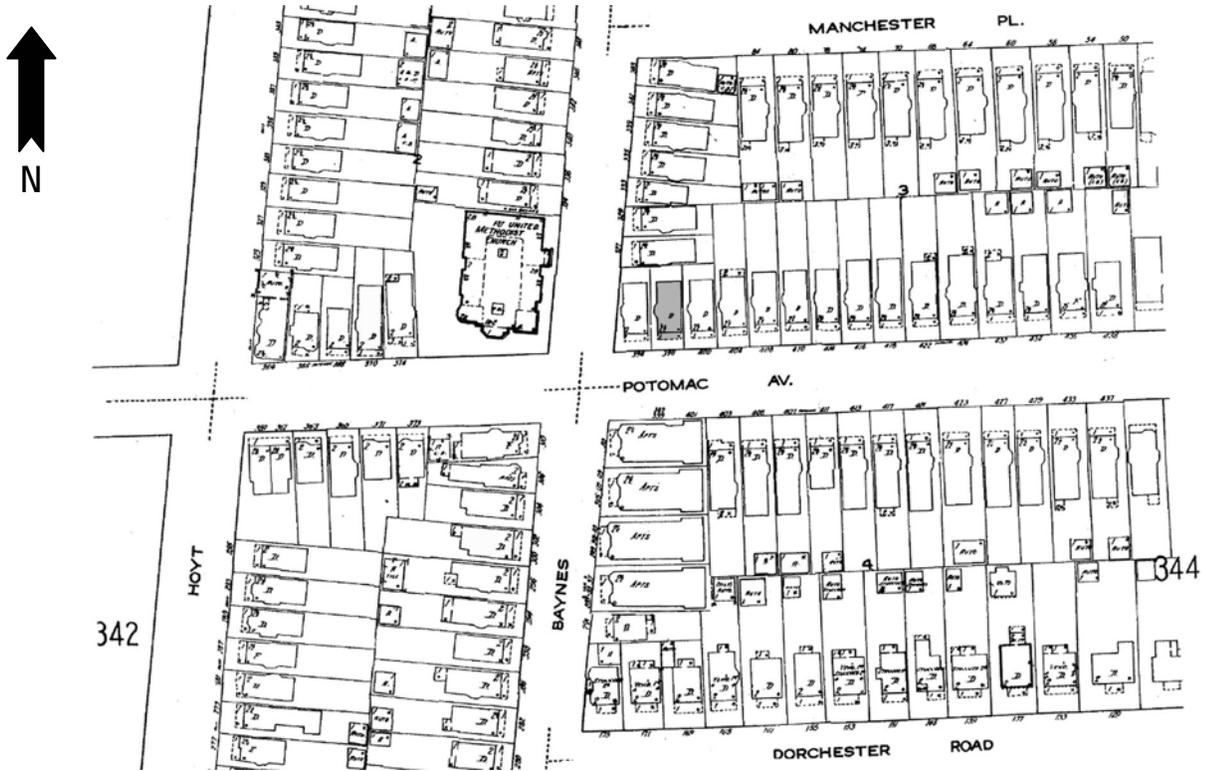
The two-family house at 396 Potomac Avenue is set on a shortened standard lot, located on the north side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-story, hipped roof, urban, frame residence of simple Queen Anne influenced period styling. It has a rectangular plan. The façade has a full-width porch with metal rail and supports, modest frieze space, and an entry stair in the east. The modestly enframed main entrance is located in the east bay of the façade. A large triple window group occupies the west bay. The second floor façade has an open porch with metal rail, a porch entrance in the east bay aligned over the lower entrance, and a triple windowed polygonal oriel in the west. A gabled roof dormer with end returns and a triple window accent sets centered on the front roof slope. Two-story polygonal bay roofed by a small lower side gable on the west elevation. Several brick chimneys visible. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 396 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of simple Queen Anne influenced period styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Matthew J. Hudson.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-33)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 403 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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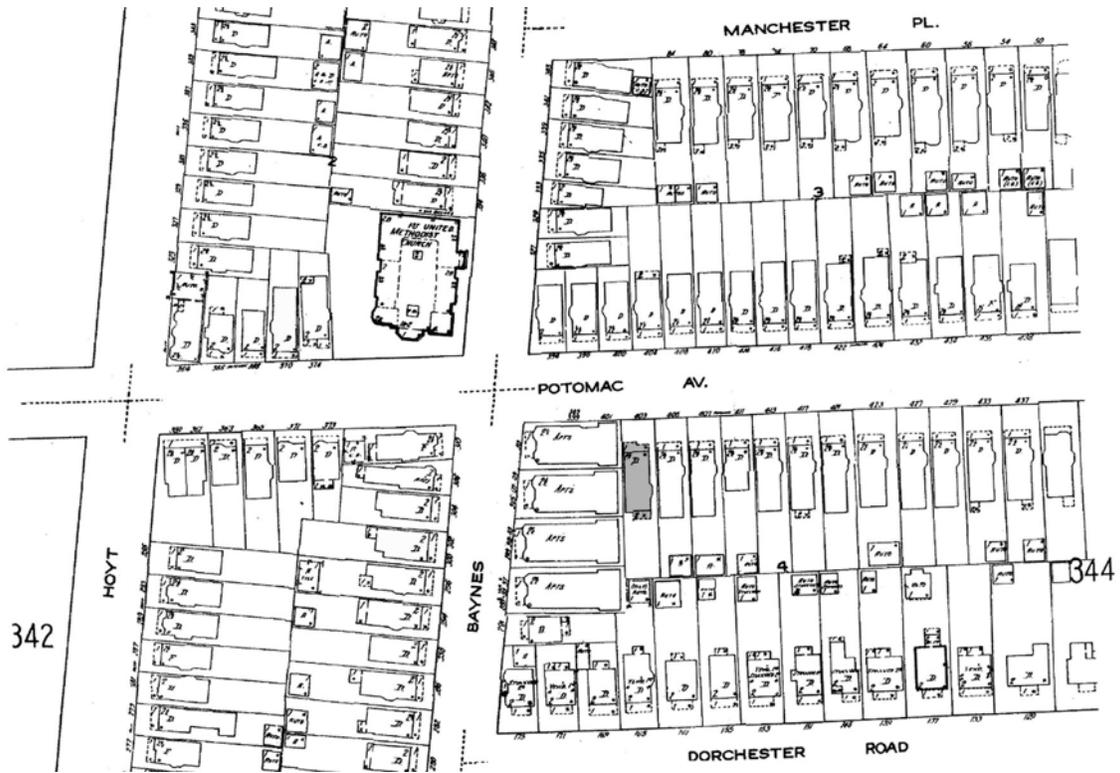
The two-family house at 403 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, side gabled, urban, frame residence with mixed period, Colonial influenced design and styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with paired ¾-height columns set atop capped stone piers that flow into the foundation, open wood rail, entablature, west bay extension, and railed entry stair in the east. A large polygonal bay occupies the west bay of the façade; the main entrance is located on the easternmost face of the bay. A framed triple window group occupies the east bay. The second floor façade has an open porch with metal rail and matching shallow triple windowed polygonal oriels in either side bay; porch entrance set on the center face of the west oriel. Two pedimented dormers with single window accent set spaced on the front roof slope. Open side gable ends with windowing. Rear section not included under the main side gable. Shallow full-height rectangular bay visible to the rear on the east elevation. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner boards, frieze with lookouts, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 403 Potomac Avenue is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence with mixed period, Colonial influenced design and styling. Moderately styled urban singles and occasional doubles of varying design, such as this, were typical housing for families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. Built for Albert W. Southal.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-36)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 411 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1906

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

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The two-family house at 411 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

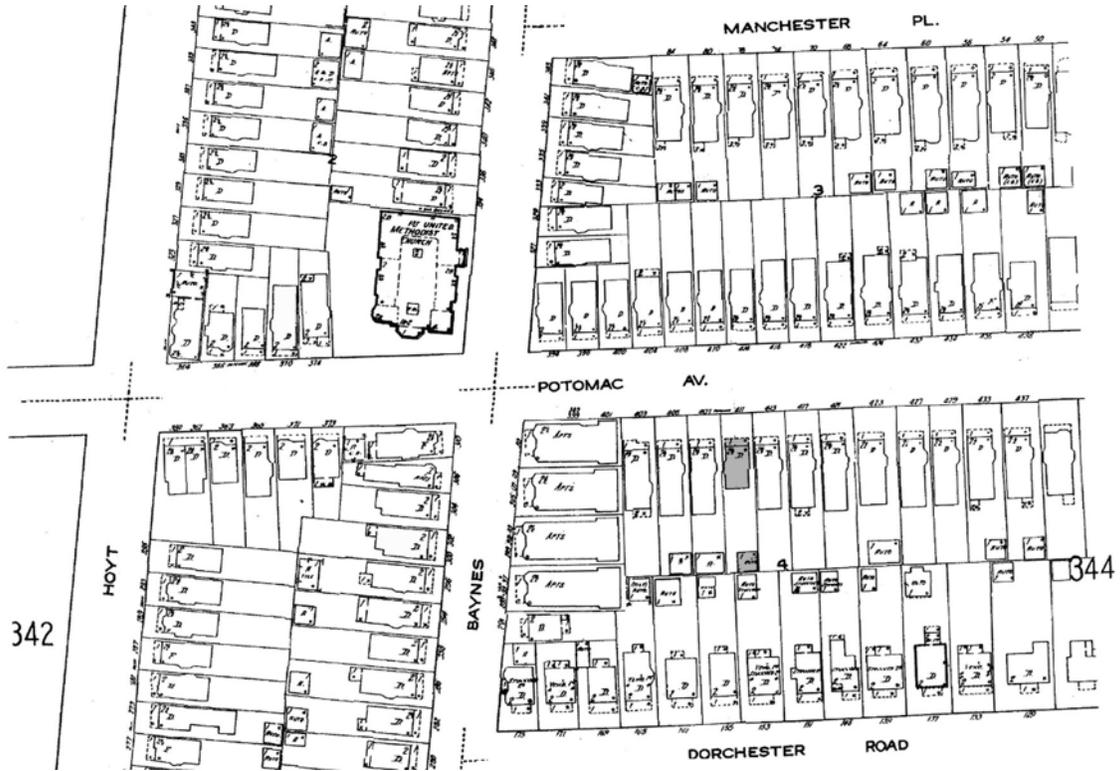
A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a short rectangular plan and is set on a stone foundation. The façade has a full-width porch with slender columns, spindled wood rail, modest frieze with slight extended eaves, and a central railed entry stair. The main entrance is located in the east bay of the façade. A single window sets to the east of the entrance, in the far side bay. A large single window sets in the west bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance with simple sidelighted surround in the west bay, and a curved triple windowed oriel in the east. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a Palladian window. Two-story polygonal bay roofed by a small lower side gable on the west elevation. Brick chimney visible on the west roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner boards, frieze with lookouts, and framing.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 411 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for W. H. Lester.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-18; N-37)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 413 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1906

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

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Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

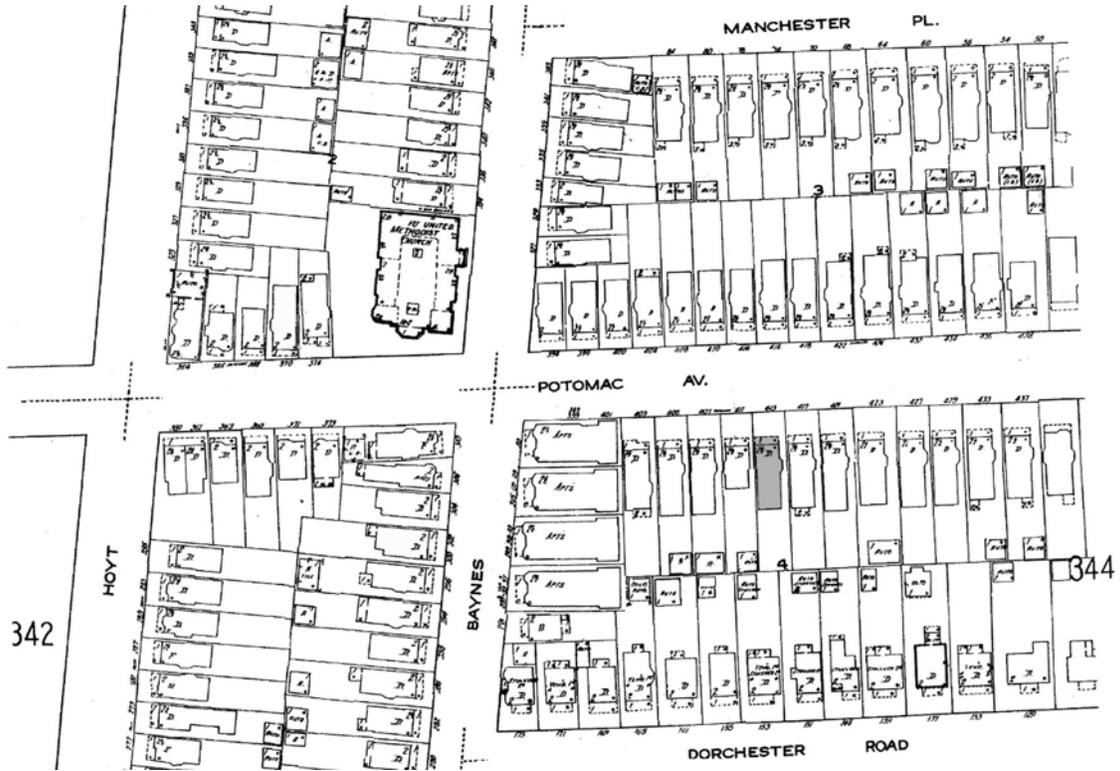
The two-family house at 413 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with metal rail and supports, simple frieze, and a railed entry stair in the west. The modestly enframed and sidelighted main entrance is located in the west bay of the façade. A large window group occupies the east bay. The second floor façade has an open porch with metal rail, a porch entrance in the west bay aligned over the lower entrance, and a triple windowed polygonal oriel in the east. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a triple window group with Palladian window-styled enframement. Two-story polygonal bay roofed by a small lower side gable on the east elevation. Brick chimney visible on the west roof slope, near the ridge. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner pilasters, frieze with lookouts, trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 413 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Louisa Graves.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-1)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 417 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1906

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

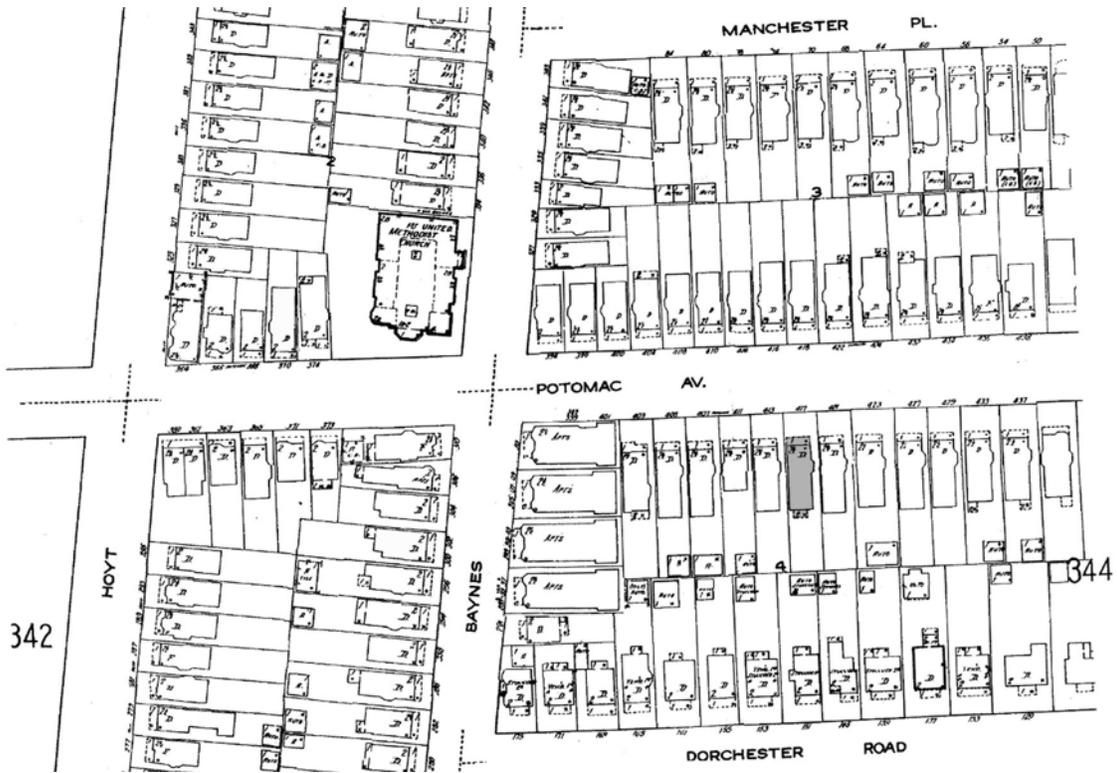
The two-family house at 417 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with $\frac{3}{4}$ -height square columns set atop capped stone piers that flow into the foundation, open wood rail, modest entablature, and an entry stair in the west. The modestly enframed and sidelighted main entrance is located in the west bay of the façade, set within a shallow enclosed vestibule. A large framed single window with transom sets in the east bay. The second floor façade has an open porch with metal rail, a porch entrance in the west aligned over the lower entrance, and a triple windowed polygonal oriel in the east. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a triple window group with Palladian window-styled enframent. Two-story polygonal bay roofed by a lower side cross gable on the east elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner pilasters, frieze with lookouts, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 417 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for W. H. Lester.

MAP: Sanborn Map (Revised 1986) – Plate 343



N

PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-2)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 427 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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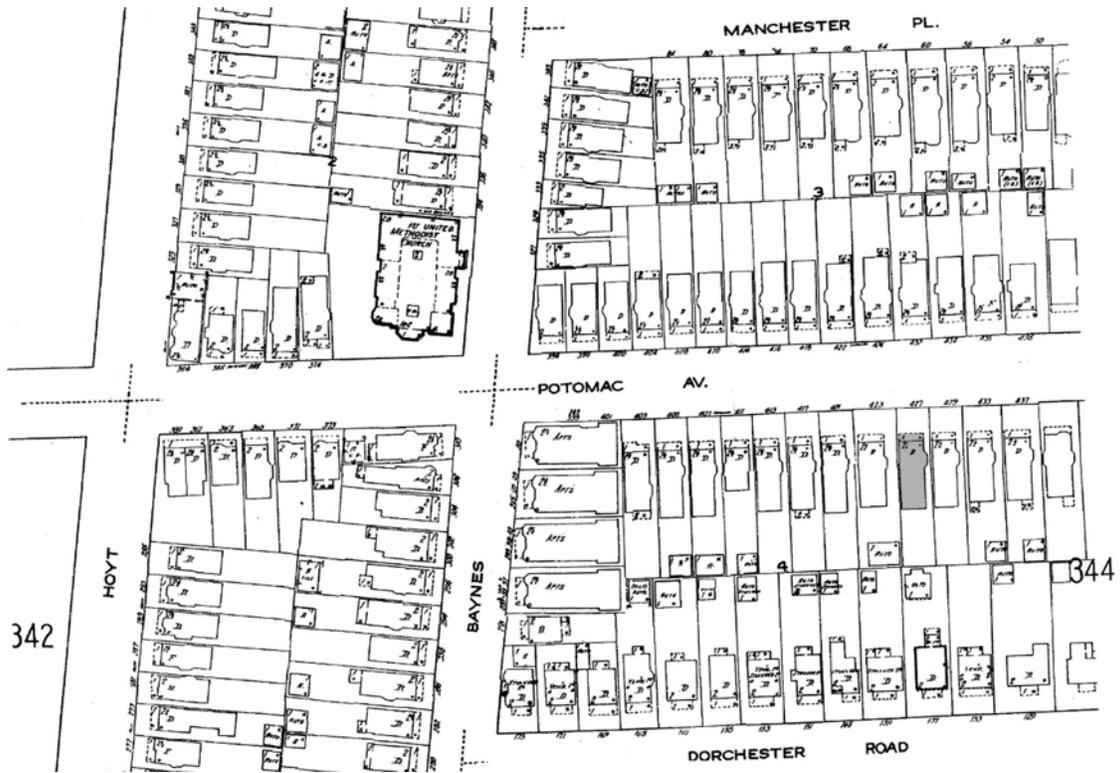
The two-family house at 427 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with square columns, patterned wood panel rail, modest entablature, and a metal railed entry stair in the west. The modestly enframed and sidelighted main entrance is located in the west bay of the façade. A large multi-paned window with shuttering occupies the east bay. The second floor façade has an open porch with metal rail, a porch entrance in the west bay aligned over the lower entrance, and a triple windowed polygonal oriel in the east. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a framed triple window group. Two-story polygonal bay roofed by a small lower side gable on the east elevation. Brick chimney visible at the ridge. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner pilasters, frieze, trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 427 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Ellinglou Salt.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-3)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 429 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1906

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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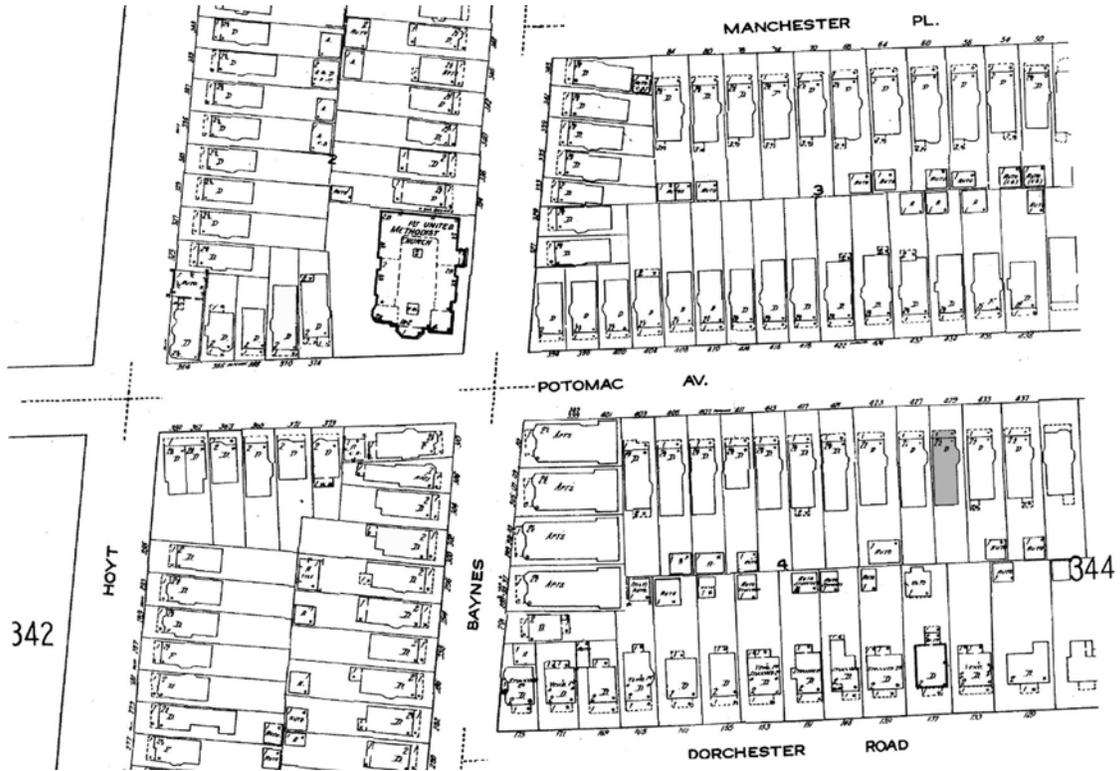
The two-family house at 429 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with column supports, open wood rail, modest entablature, and an entry stair in the west. The modestly enframed and sidelighted main entrance is located in the west bay of the façade. A framed triple window group occupies the east bay. The second floor façade has an open porch with metal rail and awning supports, a framed porch entrance with transom in the west bay aligned over the lower entrance, and a curved oriel in the east. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a recessed triple window group. Two-story polygonal bay roofed by a small lower side gable on the east elevation. Shallow full-height rectangular projection on the west elevation. Brick chimney visible at the ridge. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner pilasters, frieze with lookouts, trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 429 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for W. H. Lester.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-4)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 432 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The two-family house at 432 Potomac Avenue is set on a standard lot, located on the north side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

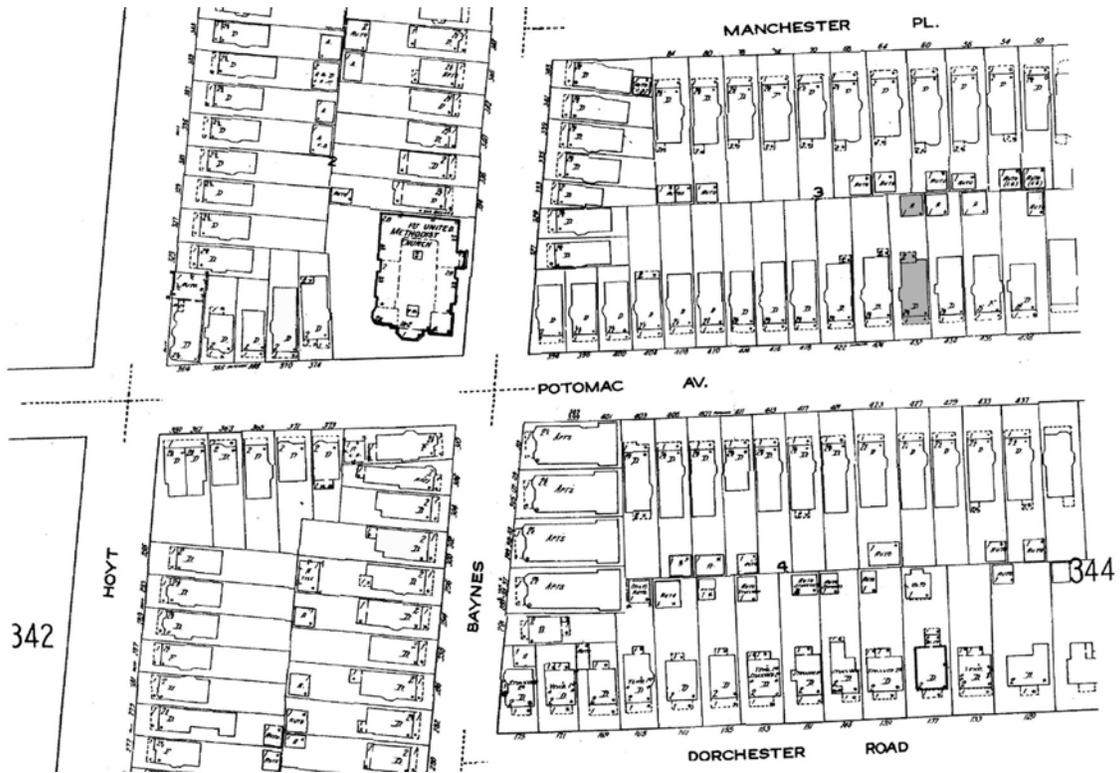
A two-story, hipped roof, urban, frame residence of modest mixed Queen Anne influenced styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with ¾-height columns set atop capped stone piers that flow into the foundation, spindled wood rail, noted entablature, and east bay extension with full-height columns over the entry stair. The framed main entrance is located in the east bay of the façade, set within an enclosed rectangular vestibule. A framed leaded window sets to the east of the entrance, on the face of the vestibule. A large framed triple window group occupies the west bay. The second floor façade has an open porch with metal rail, a porch entrance with modest sidelighted surround set in the shallow rectangular oriel in the east bay, and a similar oriel with a paired window accent in the west bay. A large hipped roof dormer with quartet ribboned window accent sets on the front roof slope. Similar dormer on the east roof slope. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes reserved corner pilasters, wide frieze, slight extended eaves with lookouts, and trim.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 432 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed Queen Anne influenced styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Fannie Butts.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-32)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 433 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1906

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 433 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

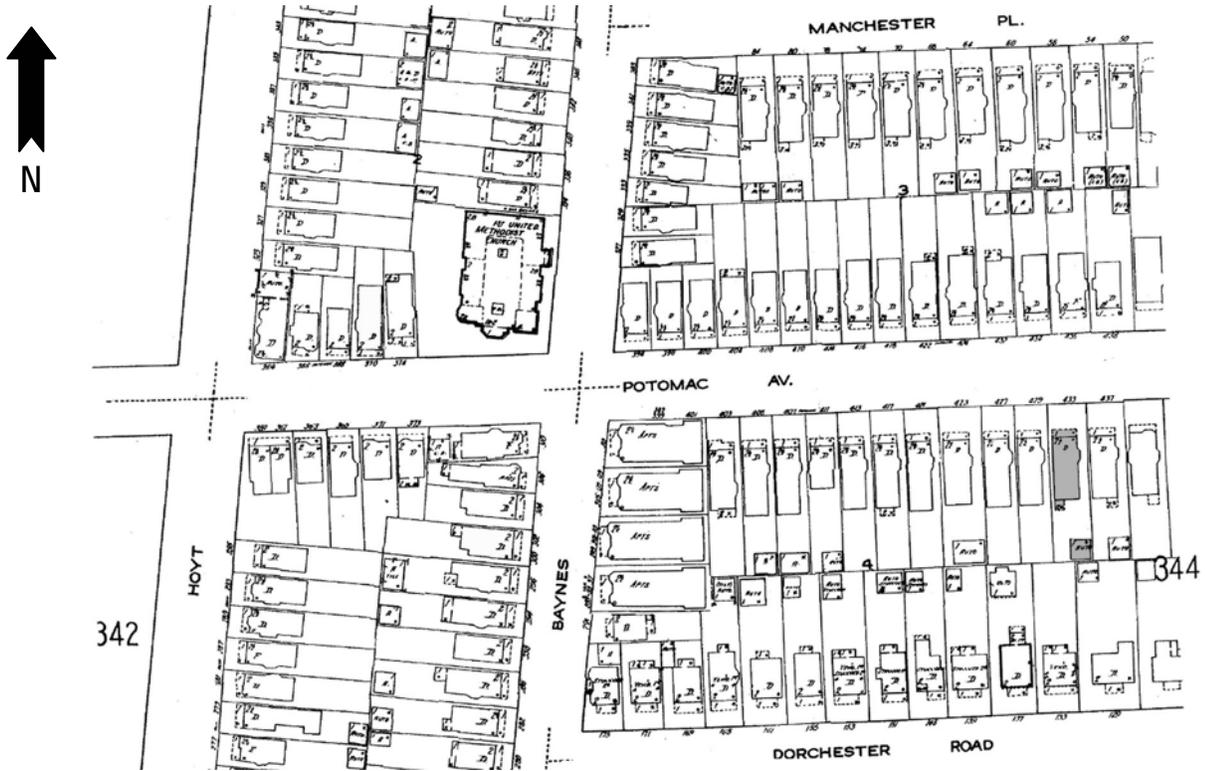
A two-story, hipped roof, urban, frame residence of modest Queen Anne influenced styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with square columns, open wood rail, modest entablature, and entry stair in the west. The main entrance is located in the west bay of the façade. A framed leaded window sets to the east of the entrance, in the far side bay. A large triple window group occupies the east bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the west bay, and a triple windowed polygonal oriel in the east. A hipped roof dormer with paired window accent sets on the front roof slope. Substantial closed side gable with window accents on the east slope; lower polygonal bay on the east elevation. Exterior wall fabric is wood clapboard. Fenestration is primarily double-hung wood sash with 1/1 and 9/1 lights and fixed, with occasional leading. Additional detailing includes reserved corner pilasters, frieze, and trim.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 433 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest Queen Anne influenced styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Mary L. Lowrie.

MAP: Sanborn Map (Revised 1986) – Plate 343



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-5)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 446 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 446 Potomac Avenue is set on a standard lot, located on the north side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

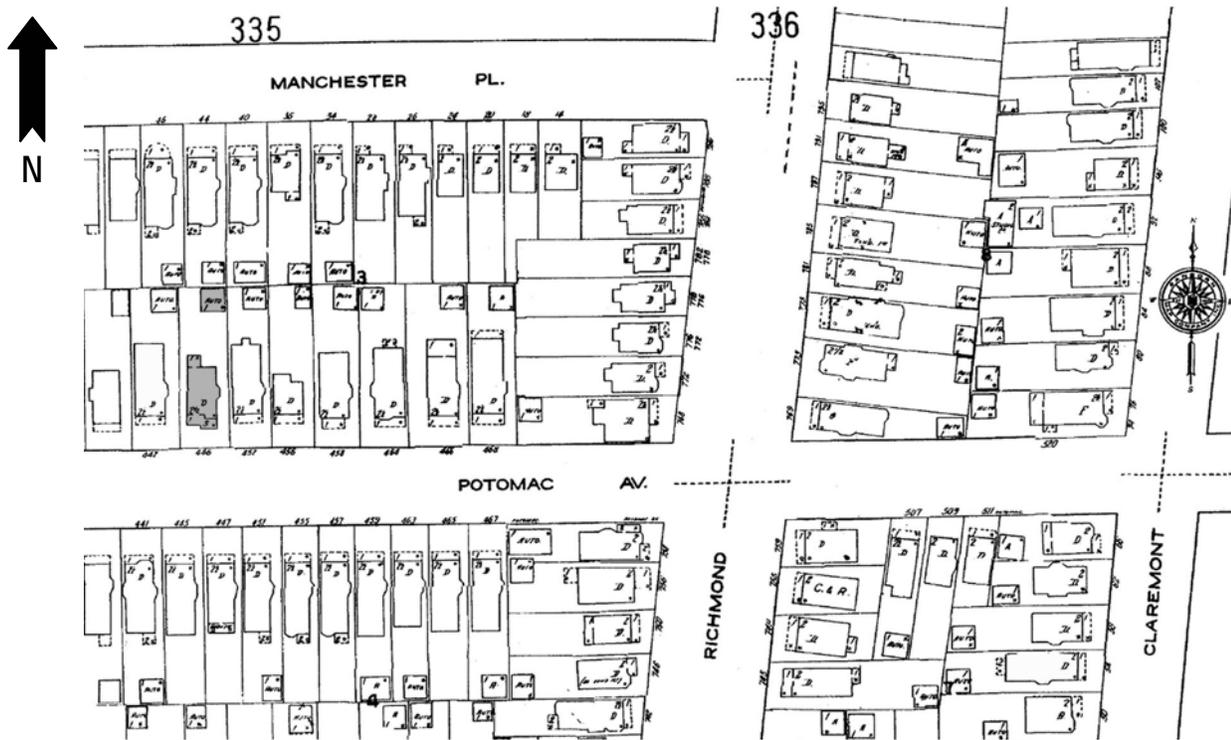
A two-and-one-half story, hipped and lower cross gabled, urban, frame residence of modest Queen Anne style. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width, enclosed, brick, living porch. The enframed main entrance is located in the subtly projecting east bay of the porch façade and reached by a metal railed entry stair. Large ribboned window groups with multi-paned transoms accent the west bay of the porch; a small window sets to the east of the entrance, in the far east bay. The second floor façade is defined by a unique porch with solid brick base continuing up from the walls of the lower porch and glass enclosed upper. The front roofline is dominated by a closed lower front gable with simple paired window accent in the west and a tall flared hipped roof dormer with paired window accent setting on the east portion of the front slope. Closed lower side gable with window accents on the west slope; lower polygonal bay on the west elevation. Exterior wall fabric is wood clapboard and shingle, with brick on the porch. Fenestration is primarily double-hung wood sash with 1/1 and 9/1 lights and fixed, with occasional leading. Additional detailing includes simple belt course, frieze, and trim.

A garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 446 Potomac Avenue is significant as a good representative example of a two-and-one-half story, hipped and lower cross gabled, urban, frame residence of modest Queen Anne style. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for F. J. Neff.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-31)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 451 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1908

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

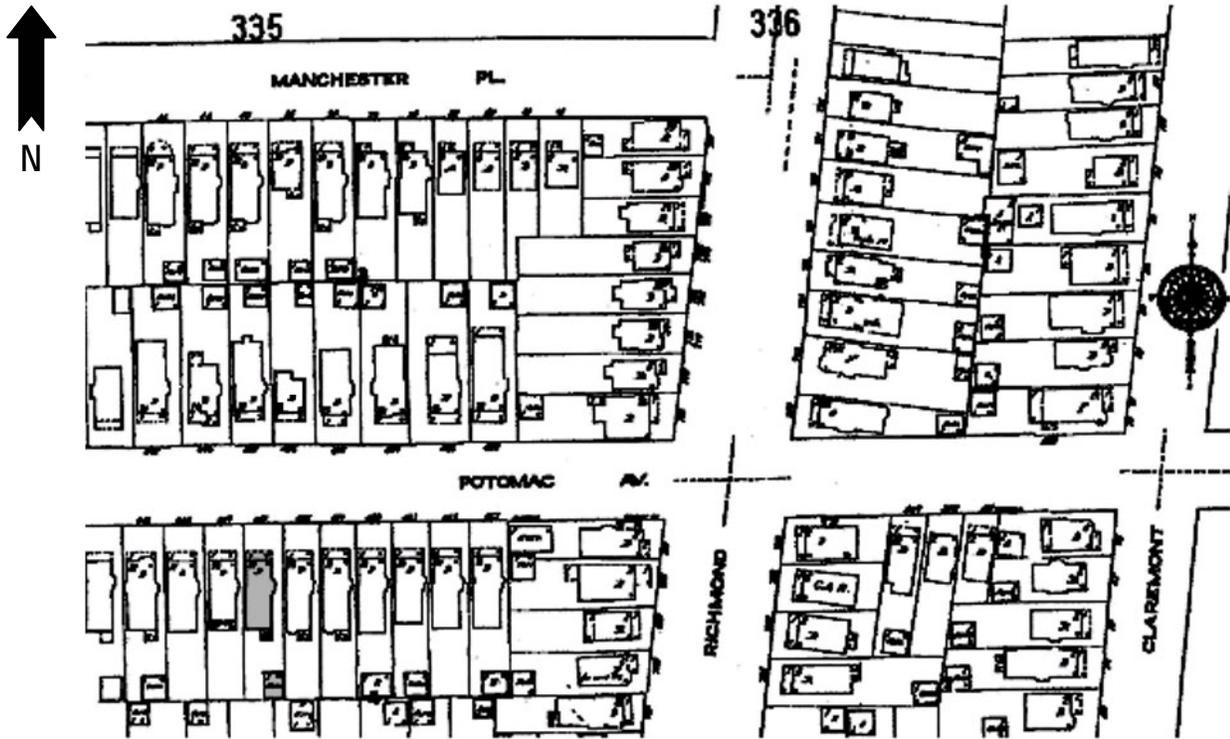
The two-family house at 451 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with $\frac{3}{4}$ -height metal supports set atop capped stone piers that flow into the foundation, open wood rail, modest entablature, and a railed entry stair in the west. The modestly enframed and sidelighted main entrance is located in the west bay of the façade, set within a shallow enclosed vestibule. A large framed triple window group occupies the east bay. The second floor façade has an open porch with metal rail, a porch entrance in the west bay, and a triple windowed polygonal oriel in the east. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a small Palladian window. Substantial closed side cross gable with windowing on the east slope; full-height polygonal bay beneath on the east elevation. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, occasional multi-paning. Additional detailing includes reserved frieze with lookouts, simple trim, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 451 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for W. H. Lester.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-6)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 456 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1906

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 456 Potomac Avenue is set on a standard lot, located on the north side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

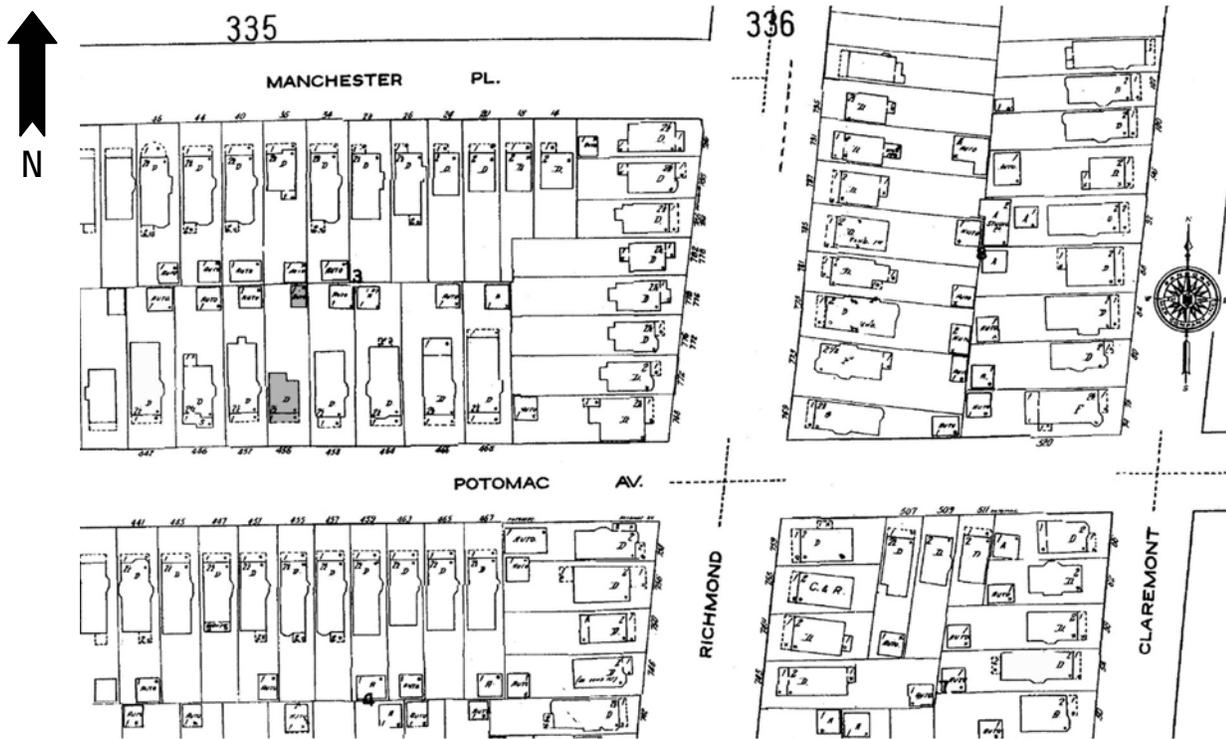
A two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. It has a short rectangular plan with a subtle ell at the rear. It is set on a stone foundation. The façade has a full-width porch with column supports, spindled wood rail, noted entablature, and railed entry stair in the west. The main entrance is located in the west bay of the façade. A single window sets to the west of the entrance, in the far side bay. A triple window group occupies the east bay. The second floor façade has a paired window in the west bay and triple windowed polygonal oriel in the east. The pent enclosed front gable end is punctuated by a paired window accent with 9/1 lights. Brick chimney visible at the ridge. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional multiple panes. Additional detailing includes simple corner boards, frieze, and trim.

A small garage sets in the rear east corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 456 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest vernacular Queen Anne styling. Less styled than some, such modestly styled urban singles and doubles of varied Queen Anne influence were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built C. Brooks Henry.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-30)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 465 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

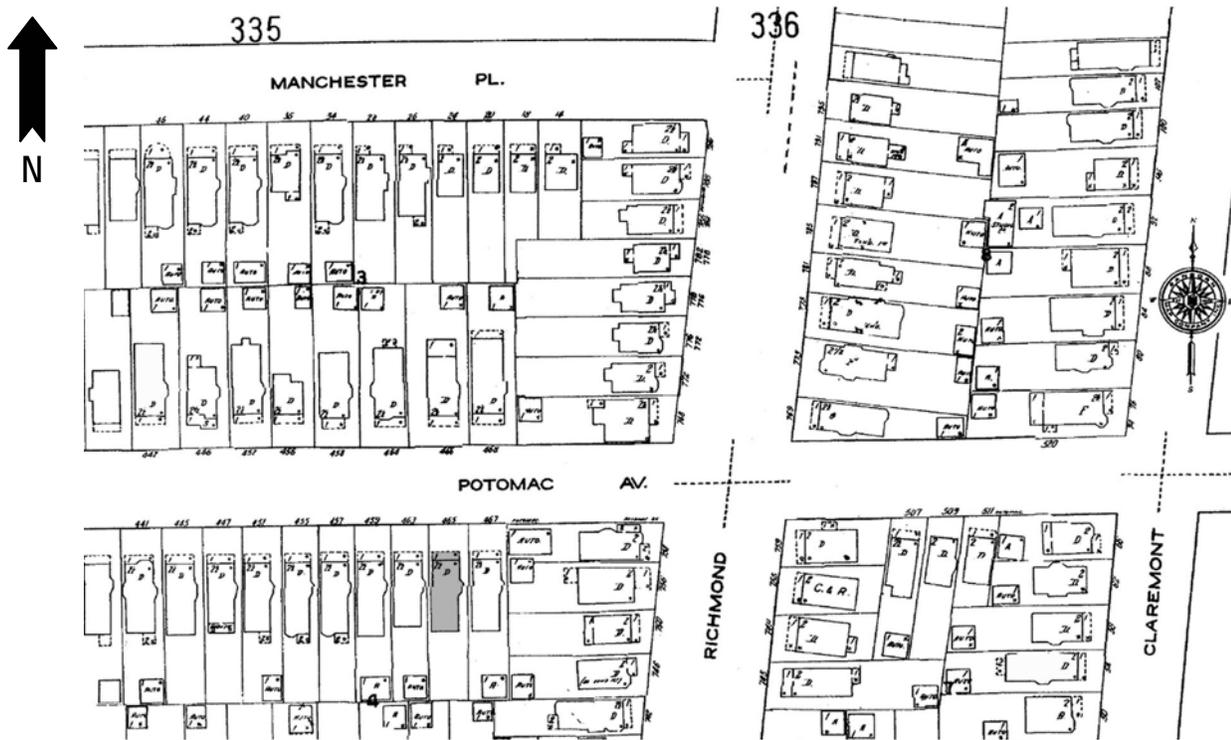
The two-family house at 465 Potomac Avenue is set on a standard lot, located on the south side of the street on the block between Baynes Street and Richmond Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a modest residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with $\frac{3}{4}$ -height metal supports set atop decorative shingle covered piers, inset open wood rail, clapboard foundation covering, modest entablature, and an entry stair in the west. The modestly enframed and sidelighted main entrance is located in the west bay of the façade, set within a shallow enclosed vestibule. A large window group occupies the east bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the west bay, and a curved oriel in the east. The pent enclosed front gable end is accented with decorative wood shingle and punctuated by a Palladian window. Two-story polygonal bay roofed by a lower side cross gable on the east elevation. Brick chimney visible on the east roof slope to the front of the lower gable. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with leading. Additional detailing includes reserved frieze with lookouts, framing, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 465 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Charles E. Lang.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-19; N-7)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 507 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1901

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 507 Potomac Avenue is set on a diagonal set small standard lot, located on the south side of the street, on the block between Richmond Avenue and Claremont Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

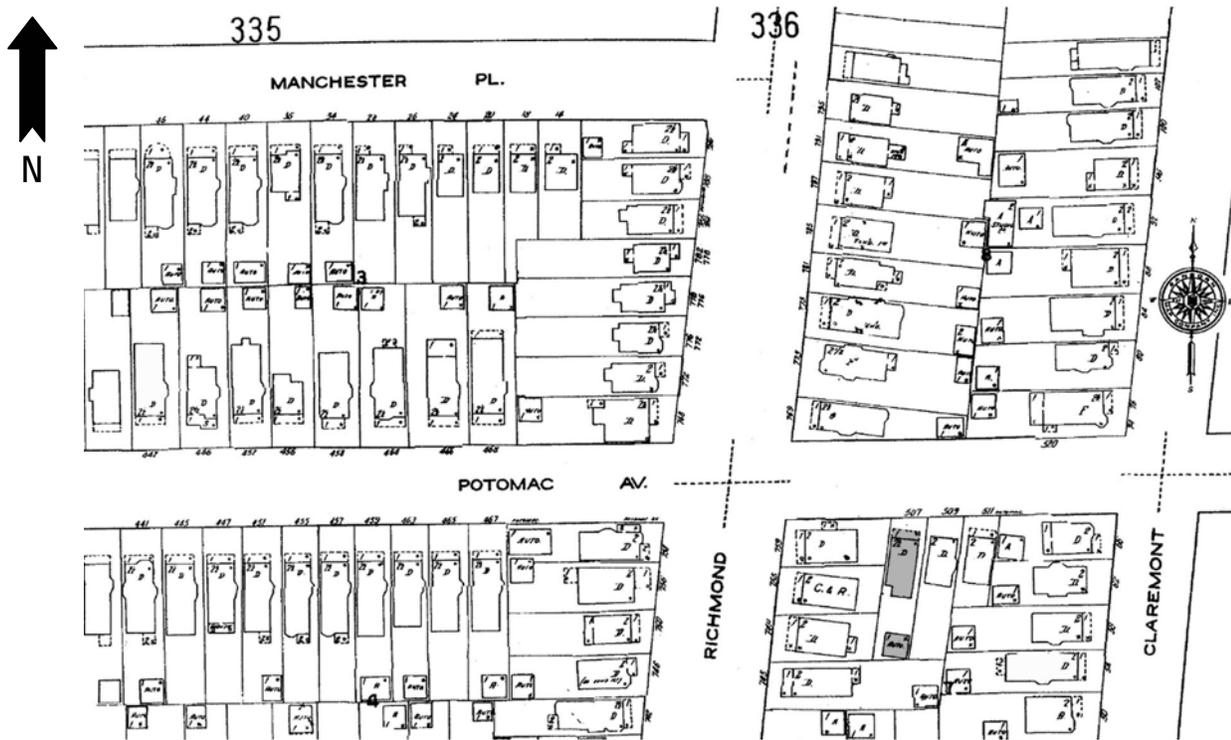
A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width hipped roof porch with ¾-height column supports set atop clapboard covered piers and rail, slightly extended eave with modest frieze, lattice covered foundation, and decorative shingled pediment over the entry stair in the east. The main entrance is located in the east bay of the façade. A small leaded window sets to the immediate east of the entrance, in the far side bay. A large window group occupies the west bay. The second floor façade has a single window set in the east bay and a polygonal oriel in the west. The pent enclosed front gable end is accented with decorative wood shingling and punctuated by a framed paired window. A shed roof dormer with double window accent sets on the west roof slope; additional smaller dormer immediately to the rear. Roofed rectangular bay visible on the west elevation. Tall exterior brick chimney on the west slope and elevation to the front of the dormer and bay. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

A garage sets in the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 507 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for H. H. Lanctot. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-14)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 509 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stone facing	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 509 Potomac Avenue is set on a diagonal set small standard lot, located on the south side of the street, on the block between Richmond Avenue and Claremont Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

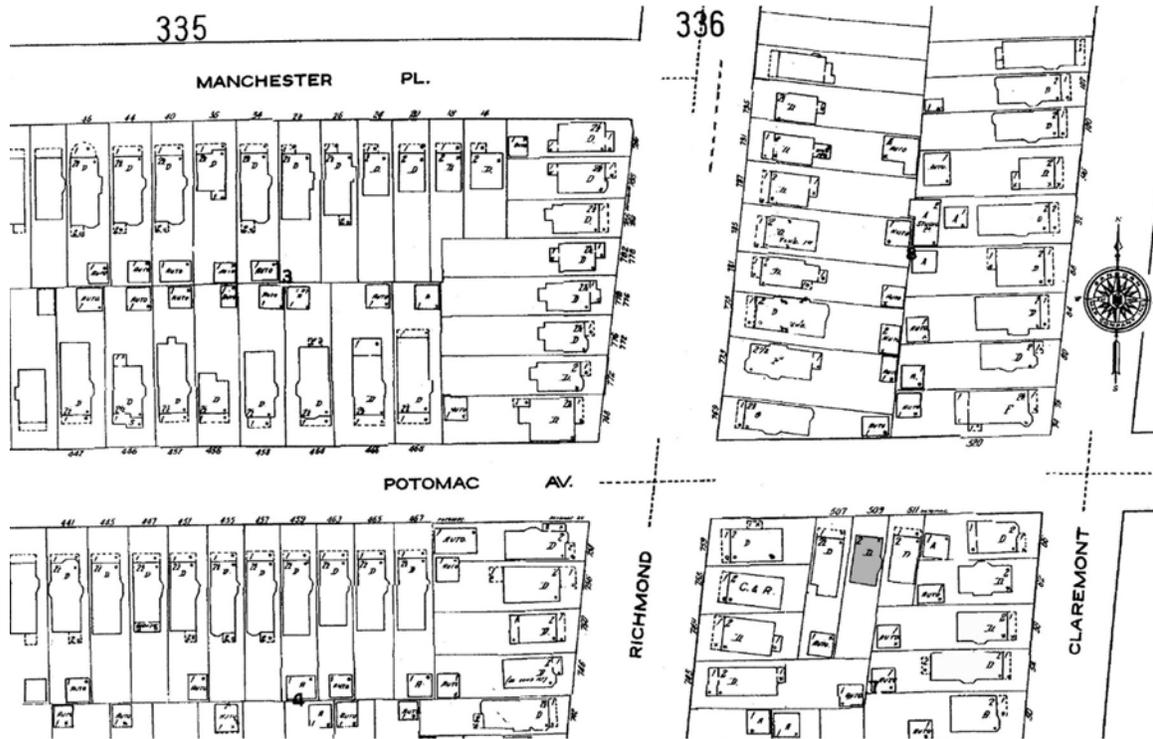
NON-CONTRIBUTING

A two-and-one-half story, front gabled, urban, vernacular residence.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 509 Potomac Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence has suffered noted alterations and deterioration. It retains little of its initial detailing and character.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-38; N-24)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 511 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

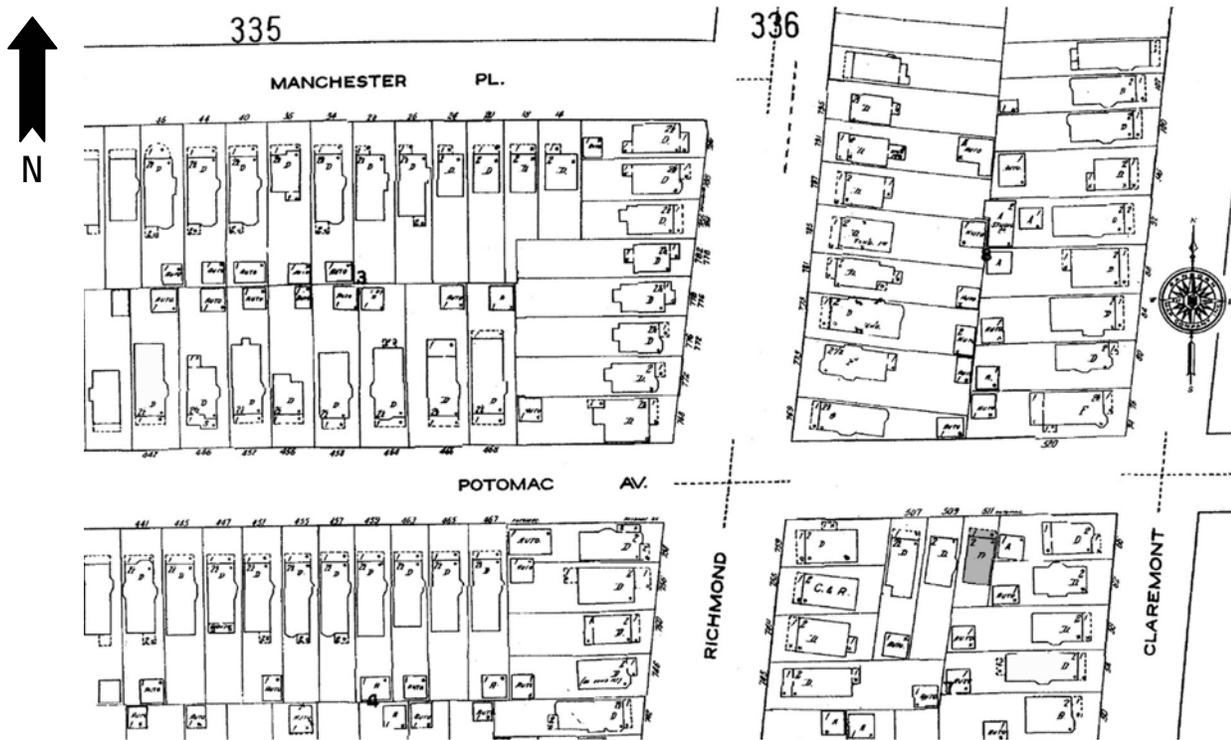
The single-family house at 511 Potomac Avenue is set on a diagonal set shortened standard lot, located on the south side of the street, on the block between Richmond Avenue and Claremont Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of Greek Revival influenced styling. It has a short regular rectangular plan and is set on a stone foundation. The façade has a half-width pedimented porch in the west, with square columns, noted entablature, spindled wood rail, lattice covered foundation, and a railed entry stair. The main entrance is located in the west bay of the façade, under the porch. A small leaded window with enframement sets to the west of the entrance, in the far side bay. A large window occupies the east bay. The second floor façade has a single window set in the west bay and a shallow triple windowed polygonal oriel in the east. The pent enclosed front gable end is accented with paired window. Roofed rectangular oriel visible on the west elevation. Brick chimney on the west roof slope. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner pilasters, façade belt course, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 511 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of Greek Revival influenced styling. Styled urban singles of varying design, such as this, were typical housing for middle class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 344



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-15)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 531 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and rock aggregate	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. _____

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

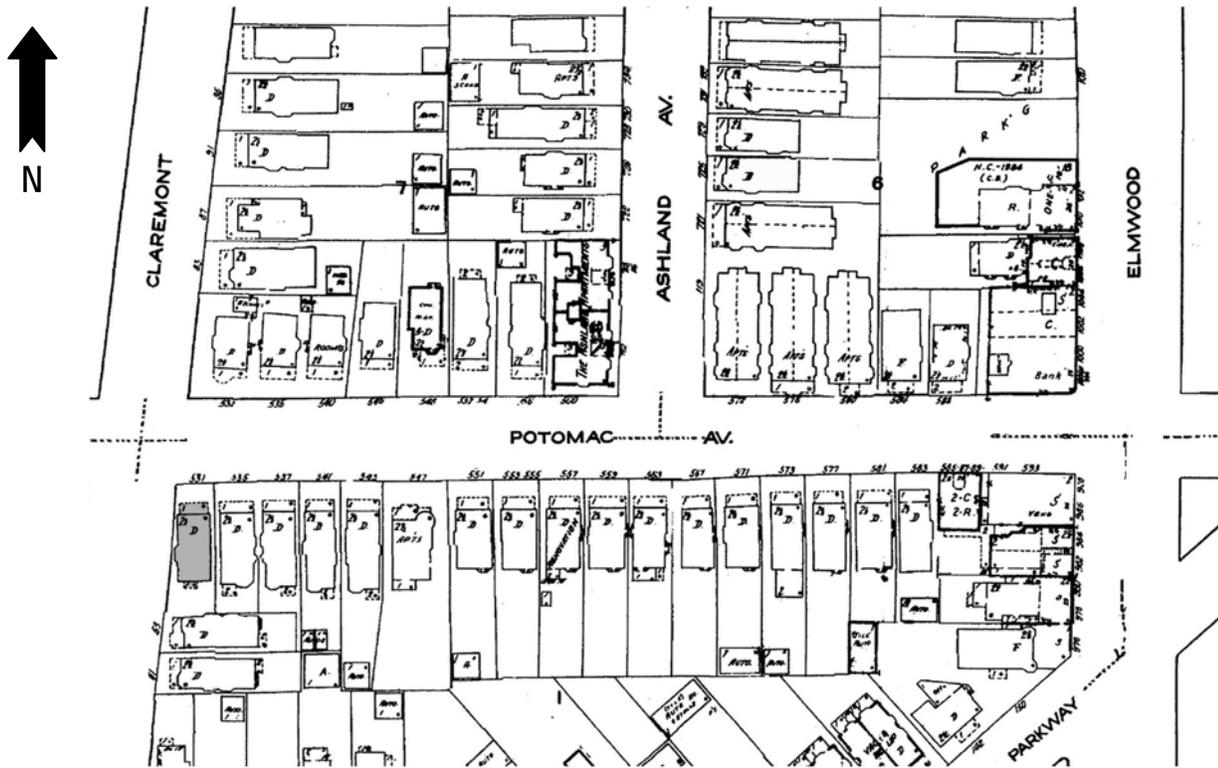
The single-family house at 531 Potomac Avenue is set on a short trapezoidal corner lot, located on the south side of the street, at the west end of the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-story, hipped roof, urban, residence of modest mixed Craftsman styling. It has a rectangular plan. The main entrance is located west elevation fronting Claremont Avenue, beneath an awning and reached by a small metal railed entry stair and porch. The façade has a full-width porch with ¾-height square columns set atop a solid capped stucco rail that extends down to the ground (punctuated with framed basement windowing) and wide frieze with entablature. The lower façade under the porch is defined by even, symmetric, framed, single windowing. The second floor façade has an open porch with ½-height wood posts and open wood rail, a framed triple window in the east, and single windowing in the west bay. A gabled dormer with paired window accent sets on the front roof slope. Similar dormer on the west roof slope. A brick chimney sets at the ridge on the front roof slope. Exterior wall fabric is stucco with rock aggregate, wood shingle on the dormers. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes extended eaves with exposed rafter tails, verge boards, and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 531 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, residence of modest mixed Craftsman styling. Styled urban singles of varying design, such as this, were typical housing for middle class families in the late nineteenth and early twentieth centuries, though those with heavy Queen Anne influence were most common on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-16)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 532 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 532 Potomac Avenue is set on a short slightly trapezoidal corner lot, located on the north side of the street, at the west end of the block between Claremont Avenue and Ashland Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

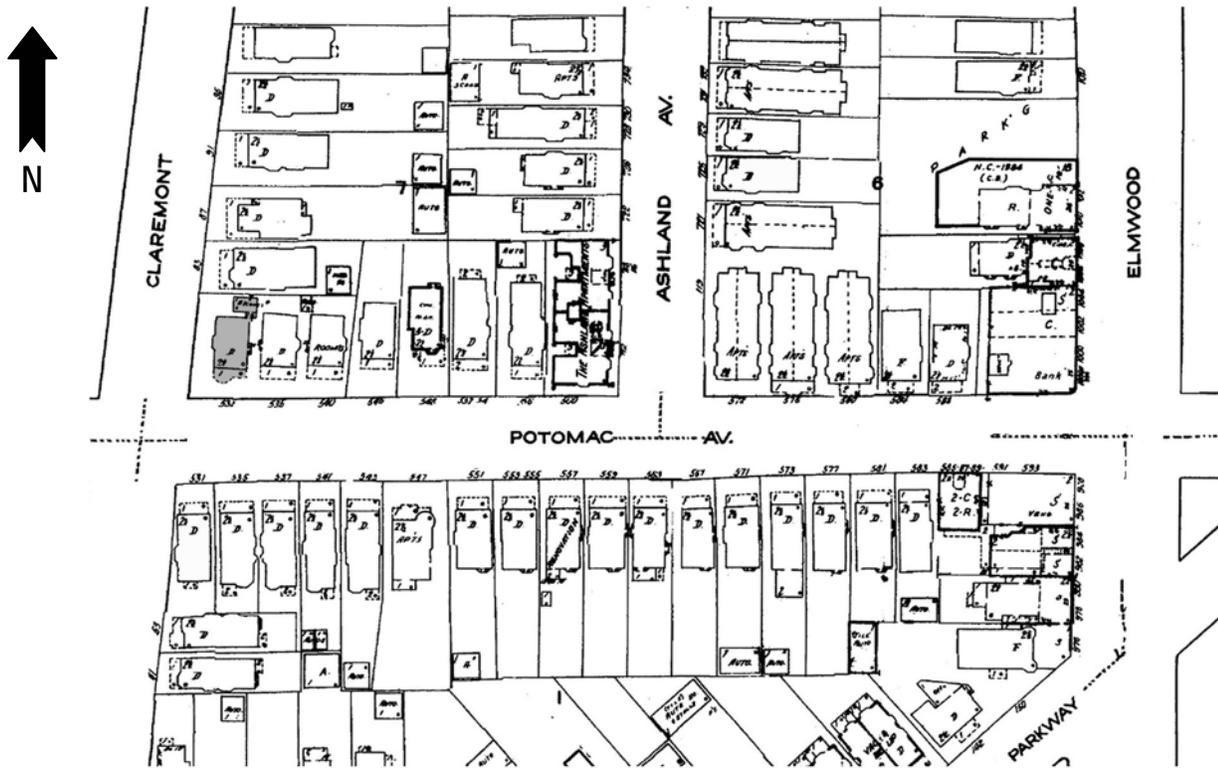
A two-story, hipped roof, urban, frame residence of Queen Anne styling. It has a short rectangular plan. The façade has a full-width hipped roof porch with thick square columns, patterned open wood rail, modest frieze, and an entry stair in the east. The framed main entrance is located in the east bay of the façade. A large triple window group occupies the west bay. The second floor façade has a curved oriel in the east and a shallow polygonal oriel in the west. A pedimented dormer with triple window accent sets on the front roof slope. Similar dormer with paired window accent on the west roof slope. Two-story polygonal bay visible on the west elevation aligned beneath the dormer, additional ornamented, roofed, first-story rectangular bay further to the rear. Tall exterior brick chimney on the west slope and elevation to the front of the dormer and bay. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with extensive leading. Additional detailing includes large geometric patterned frieze, molded cornice, slight extended eaves, trim and framing.

A garage sets at the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 532 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of Queen Anne styling. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-20)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 535 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1911

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

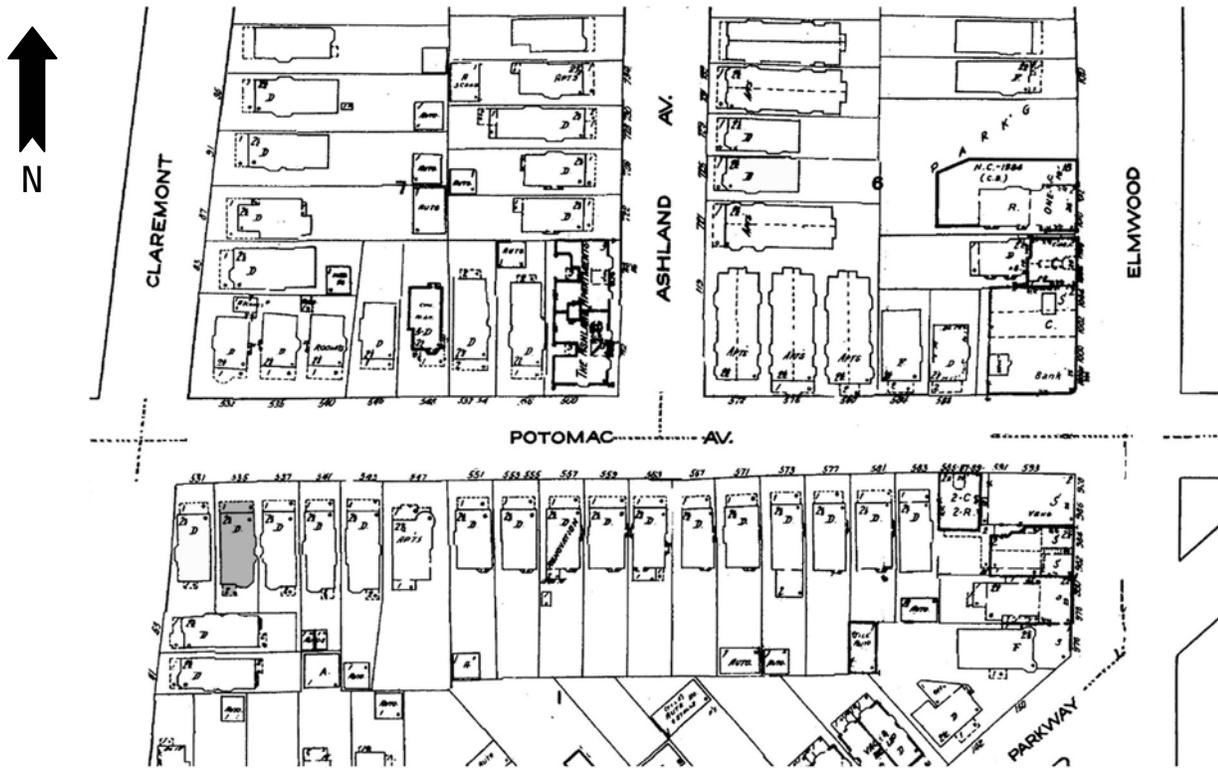
The single-family house at 535 Potomac Avenue is set on a shortened standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-story, hipped roof, urban, frame residence of modest mixed Queen Anne styling. It has a rectangular plan. The façade has a centered 7/8-width porch with ¾-height patterned square columns set atop capped brick piers that extend down over and into the foundation, spindled wood rail, moderate frieze, and a railed entry stair in the west. The modestly enframed and sidelighted main entrance is located in the west bay of the façade. A framed triple window group occupies the west bay. The second floor façade has an open porch with ½-height wood posts and spindled wood rail, and windowed polygonal oriels in either side bay; porch entrance set in the central face of the west oriel. A flared hipped roof dormer with triple window accent sets on the front roof slope. Similar dormer on the west roof slope. Several brick chimneys visible. Exterior wall fabric is wood clapboard. Fenestration is primarily double-hung wood sash with 1/1, 6/1, and 8/1 lights and fixed. Additional detailing includes simple corner boards, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 535 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed Queen Anne styling. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for B. P. H. Realty & Construction Co. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-17)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 536 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: asphalt shingle	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

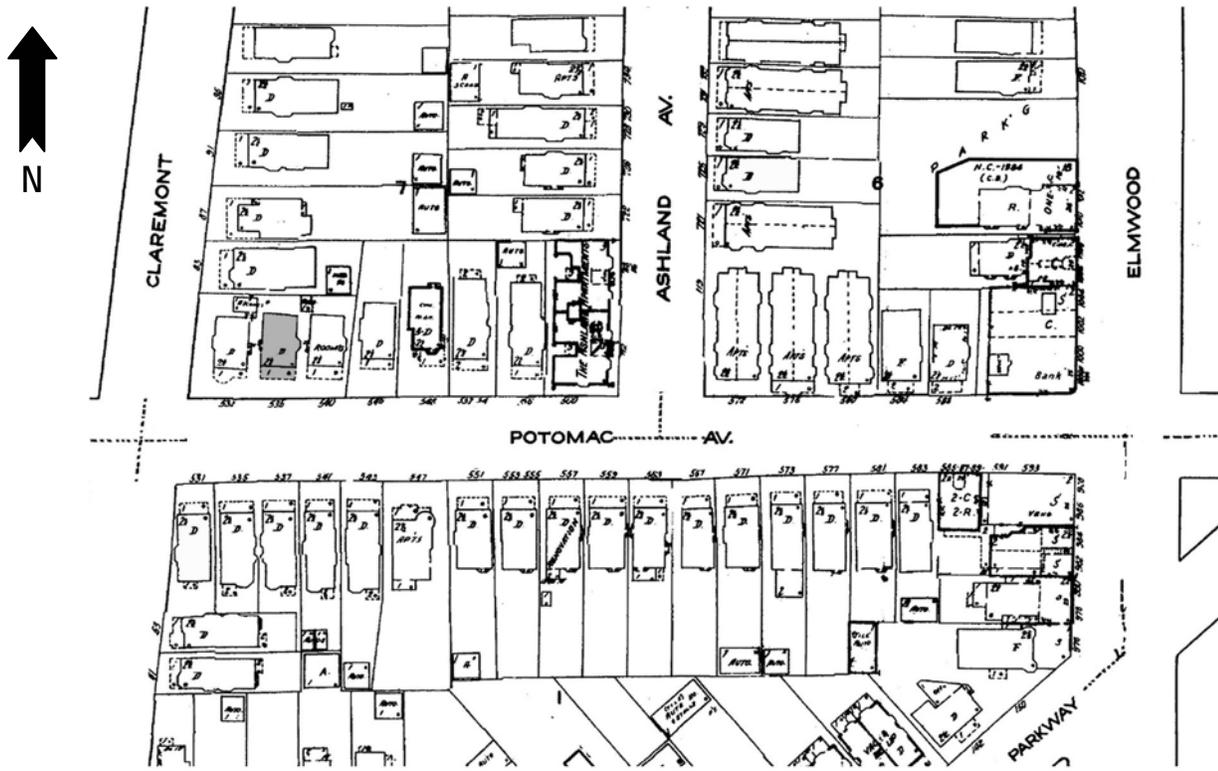
The single-family house at 536 Potomac Avenue is set on a shortened slightly trapezoidal lot, located on the north side of the street, on the block between Claremont Avenue and Ashland Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of moderate Queen Anne style. It has a short rectangular plan and is set on a stone foundation. The façade has a full-width hipped roof porch with plain slender square column supports, open wood rail, plain frieze space, shingle covered foundation, and an ornamented pediment over the entry stair in the west. The main entrance is located in the west bay of the façade, set within a shallow enclosed rectangular vestibule. A small window sets to the west of the entrance, on the face of the vestibule. A large triple window group occupies the east bay. The second floor façade has a framed paired window set in the west bay on the continuing rectangular projection of the lower vestibule; a triple windowed polygonal oriel sets in the east. The pent enclosed, slightly projecting front gable end is punctuated by an elaborately enframed triple window group. Closed lower side gable with window accents on the east slope; lower polygonal bay on the east elevation. Brick chimney visible at the ridge. Exterior wall fabric is wood clapboard, with asphalt shingle in the front gable end. Fenestration is primarily double-hung wood sash with 1/1 and 9/1 lights and fixed. Additional detailing includes modest corner pilasters, frieze, trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 536 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of moderate Queen Anne style. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for H. H. Lanctot. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 537 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 537 Potomac Avenue is set on a shortened standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

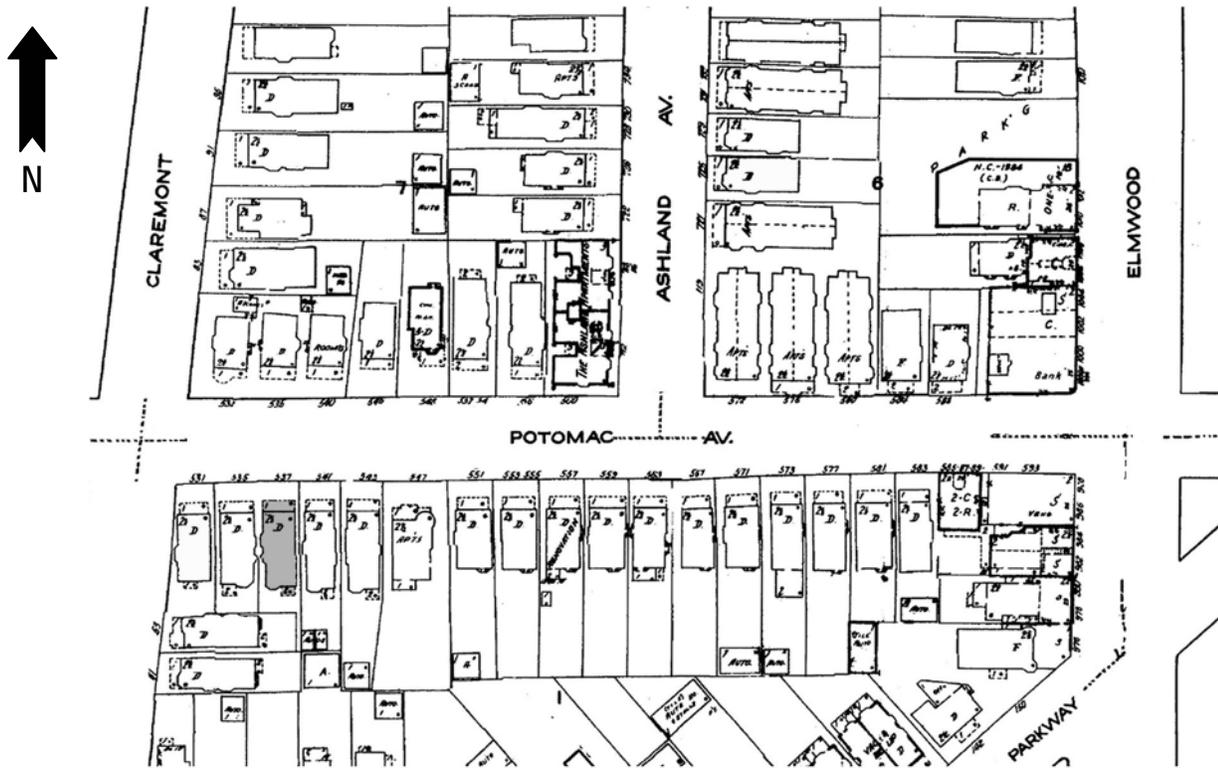
NON-CONTRIBUTING

A two-and-one-half story, side gabled, urban, frame residence of mixed period Colonial influenced design and styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 537 Potomac Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics of altered asbestos shingling. Built for B. P. H. Realty & Construction Co.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-8)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 540 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 540 Potomac Avenue is set on a shortened slightly trapezoidal lot, located on the north side of the street, on the block between Claremont Avenue and Ashland Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

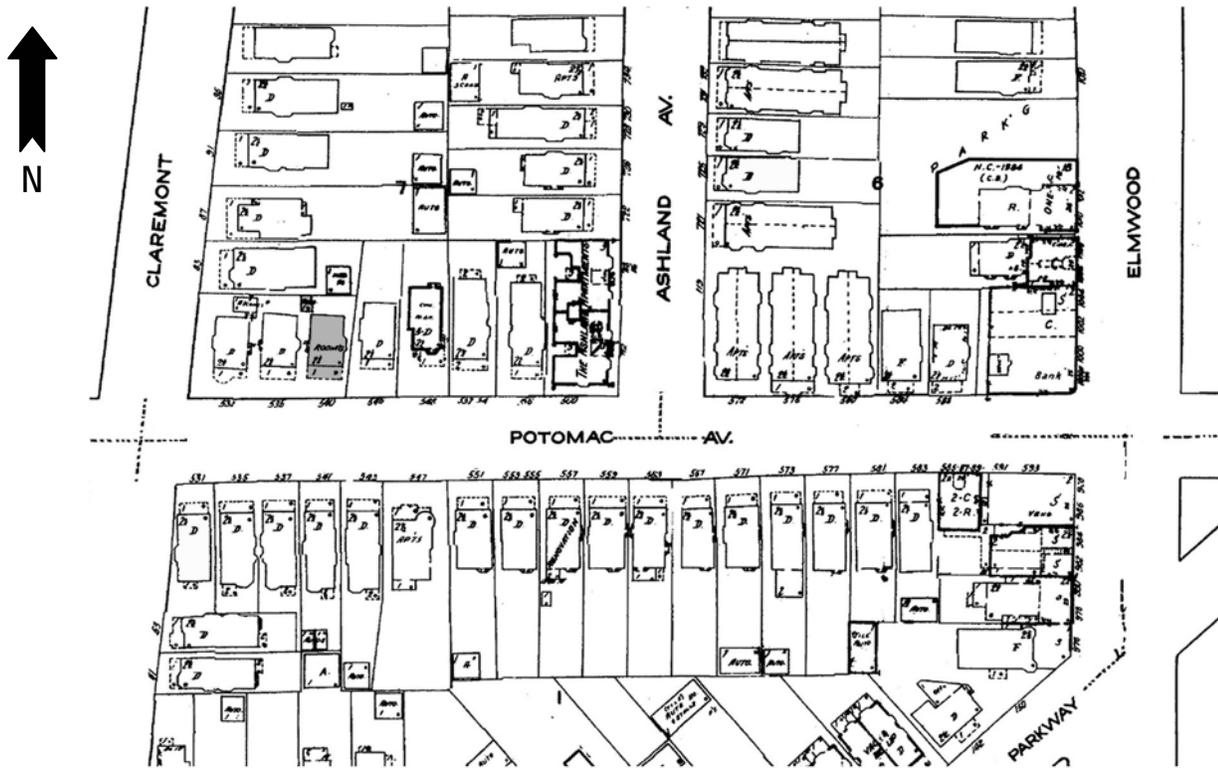
A two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne style. It has a short rectangular plan and is set on a stone foundation. The façade has a full-width hipped roof porch with ¾-height square column supports set atop short solid patterned wood piers rail, moderate entablature, and ornamented pediment over the entry stair in the west. The main entrance is located in the west bay of the façade, set within a shallow enclosed rectangular vestibule. A small window sets to the west of the entrance, on the face of the vestibule. A large triple window group occupies the east bay. The second floor façade has a framed paired window set in the west bay on the continuing rectangular projection of the lower vestibule; a triple windowed polygonal oriel sets in the east. The closed, slightly projecting front gable end is accented with a triple window. A shed roof dormer with window accent sets on the west roof slope. Roofed rectangular oriel visible on the west elevation. Brick chimney visible at the ridge. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed, with much leading. Additional detailing includes modest corner pilasters, subtly molded frieze, and trim.

A small garage sets to the west in the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 540 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest Queen Anne style. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for H. H. Lanctot. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 541 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1910

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 541 Potomac Avenue is set on a shortened standard lot with slight ell, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

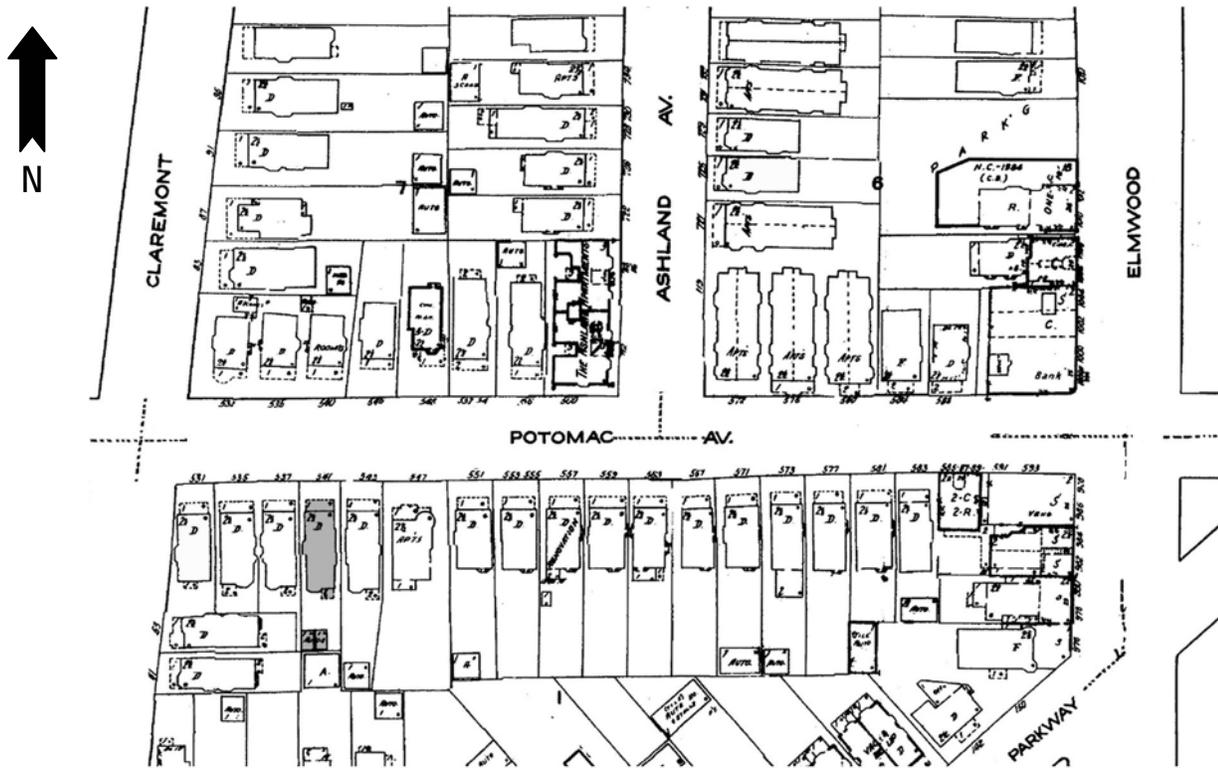
A two-story, hipped roof, urban, frame residence of modest mixed period Craftsman influenced styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with thick sculpted top shingle covered pillars and ½-height posts, open wood rail, extended eaves, and an entry stair in the east. The modestly enframed and sidelighted main entrance is located in the east bay of the façade. A framed triple window group occupies the east bay. The second floor façade has an open porch with metal rail, a porch entrance flanked by vertical window groups in the east bay, and a triple window group in the west aligned over the lower windowing. A large flared hipped roof dormer with low quartet ribbed window accent sets on the front roof slope. Shallow full-height polygonal bay on the west elevation. Brick chimney visible on the west roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple frieze and trim.

A garage sets in the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 541 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed period Craftsman influenced styling. Modestly styled singles and doubles of the prevailing trends, such as this, were common housing for families in the early twentieth century on the West Side, though those of the Queen Anne style were most predominant. Built for B. P. H. Realty & Construction Co. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-19)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 543 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stone facing	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

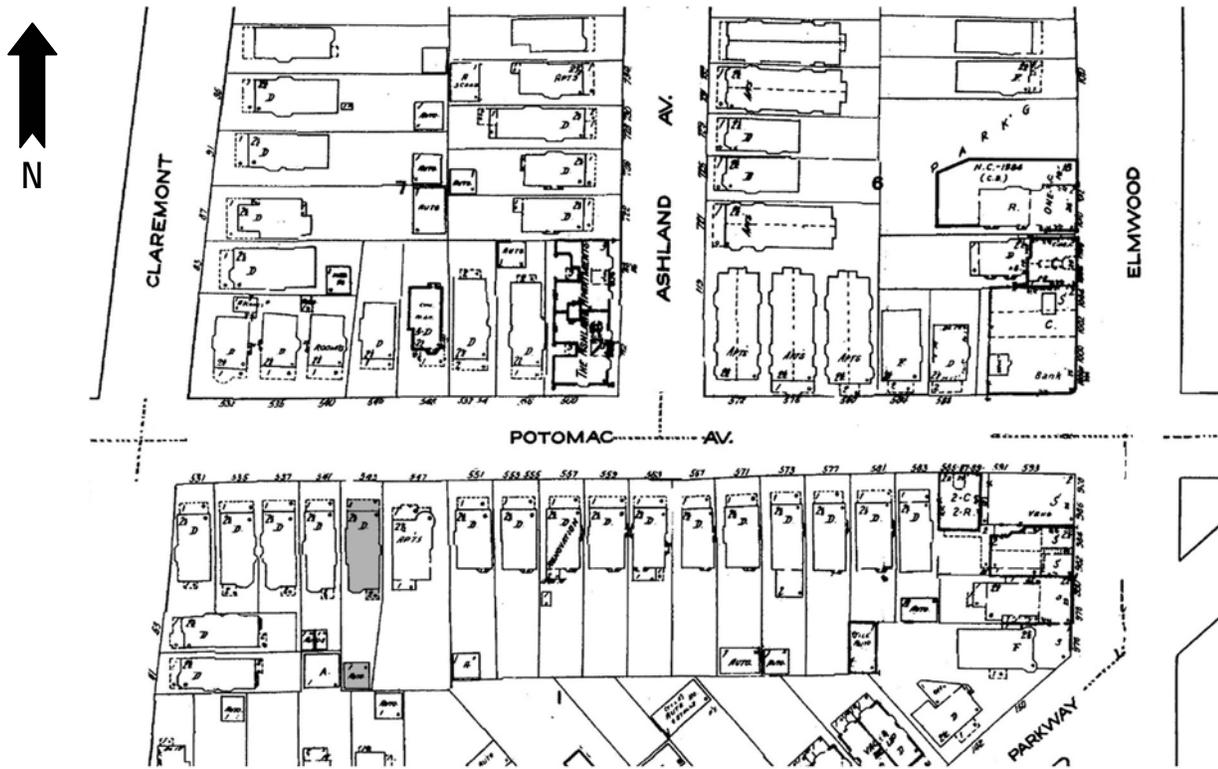
The two-family house at 543 Potomac Avenue is set on a slightly trapezoidal lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style. It has a rectangular plan and is set on a stone foundation. The façade has a full-width porch with square columns, open wood rail, modest entablature, and an entry stair in the west. The modestly enframed and sidelighted main entrance is located in the west bay of the façade. A triple window group occupies the east bay. The second floor façade has an open porch with metal rail and awning supports, a porch entrance in the west bay, and a triple windowed polygonal oriel in the east. The pent enclosed front gable end is punctuated by a quartet window group. A gabled dormer with window accent sets on the east roof slope. Shallow, full-height, polygonal bay visible on the east elevation beneath the dormer. A brick chimney sets on the east roof slope to the front of the dormer. Exterior wall fabric is wood clapboard, with stone facing on the first-story façade. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 543 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-38; N-23)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 546 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1896

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

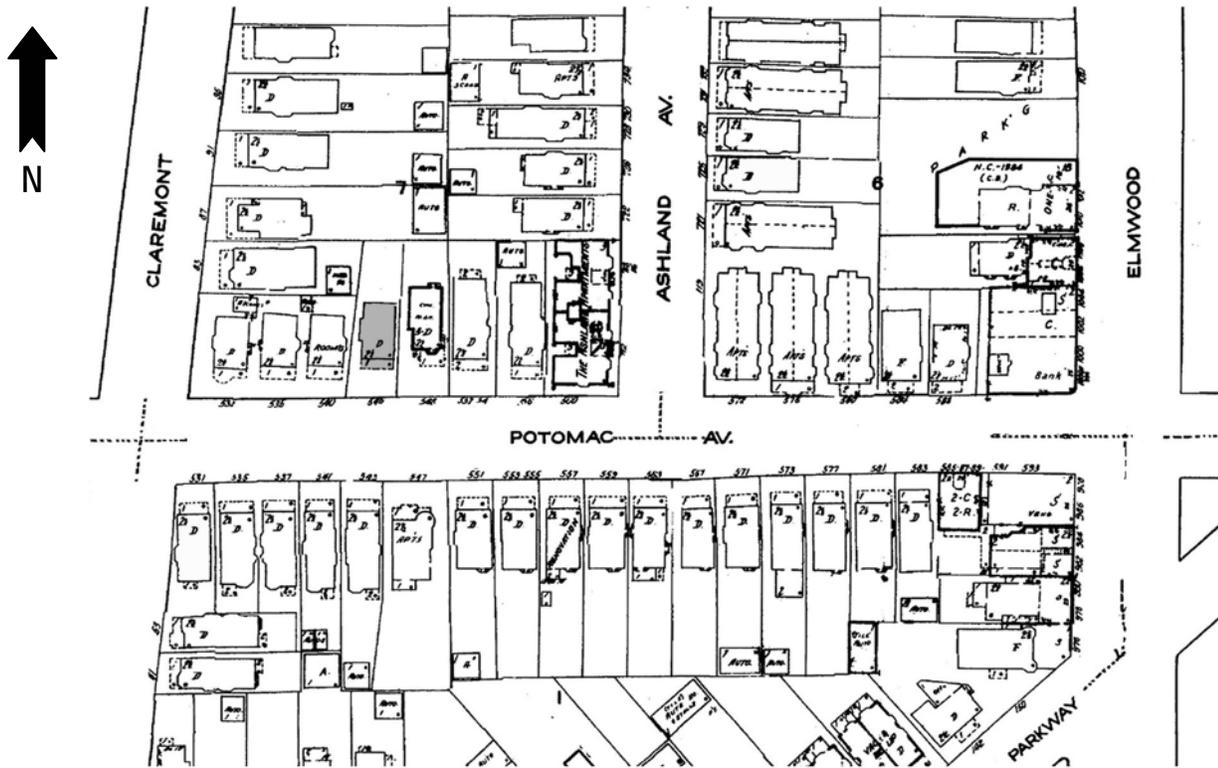
The single-family house at 546 Potomac Avenue is set on a slightly trapezoidal lot, located on the north side of the street, on the block between Claremont Avenue and Ashland Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne style. It has a short rectangular plan. The façade has a full-width shed roof porch with slender ¾-height square column supports set atop a solid rail with clapboard covering that extends down over the foundation, moderate entablature, and metal railed entry stair to the west. The main entrance is located on the façade off center to the west. Single windowing defines either side bay. The second floor façade has a decorative shingled curved oriel with single window accent in the west and a polygonal oriel in the east. The front cross gable is accented with an enframed triple window group; peak closed. Similar closed side gables. A rectangular bay with gabled roof visible on the west elevation contained within the lines of the main side gable; smaller bay to the front. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 546 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence of modest Queen Anne style. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-23)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 548 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: stucco and half-timbering	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. _____ Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

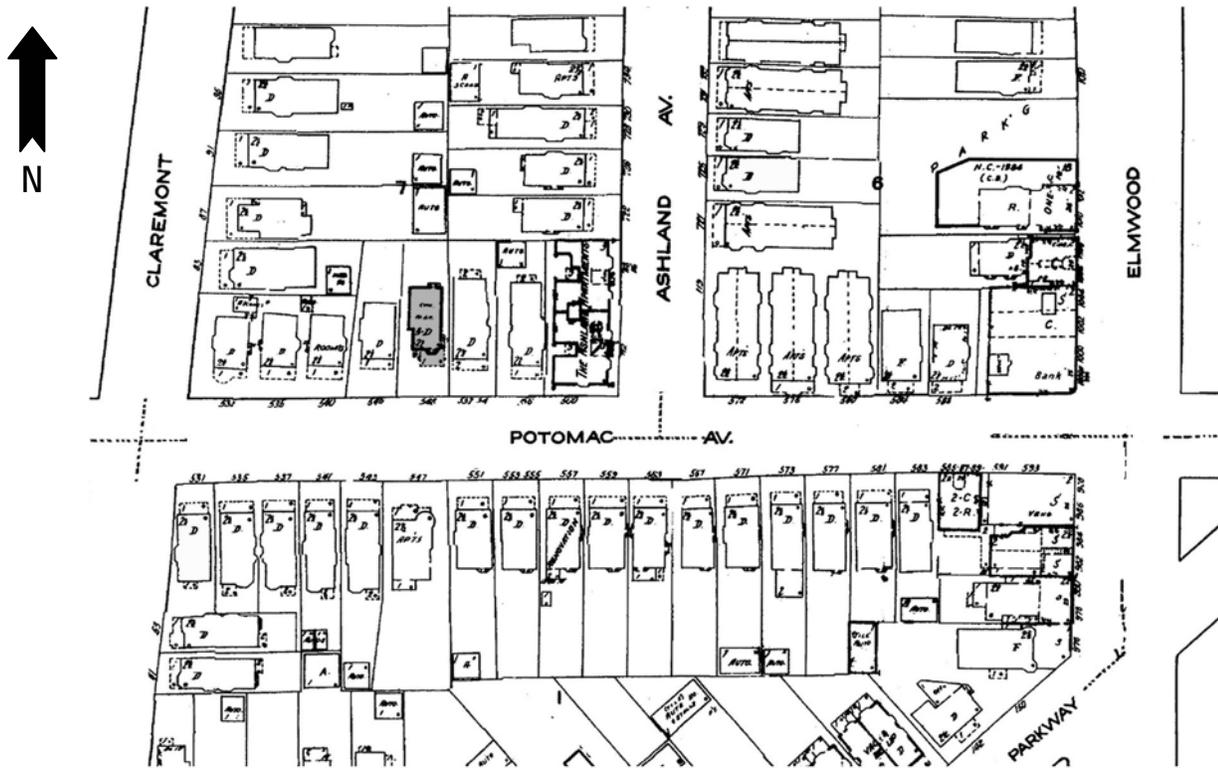
The single-family house at 548 Potomac Avenue is set on a standard lot, located on the north side of the street, on the block between Claremont Avenue and Ashland Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, cross gabled, urban residence of mixed half-timbered Queen Anne styling and detail. It has a slightly irregular, though roughly rectangular plan. The façade has a 2/3-width flat roofed porch in the east, with thick stuccoed corner pillars, slender 1/2-height wood post supports set atop a solid stucco rail and extended base, and moderate frieze space with subtle brackets. The main entrance is located in the west bay of the façade, under a small shed roof entry porch of similar styling and reached by a stair. A polygonal bay occupies the east bay under the porch. The second floor façade has a single window in the west and a flat roofed polygonal oriel in the east, aligned over the lower bay. The closed front cross gable is accented by a triple window group with 4/4 lights. Large closed side gable with extending bay to the west. Additional roofed projections on the east elevation. A tall brick chimney sets on the west slope of the front gable. Exterior wall fabric is stucco with extensive half-timbering on the upper stories. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes verge boards and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 548 Potomac Avenue is significant as a good representative example of a two-and-one-half story, cross gabled, urban residence of mixed half-timbered Queen Anne styling and detail. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-24)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 552 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 552 Potomac Avenue is set on a standard lot, located on the north side of the street, on the block between Claremont Avenue and Ashland Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

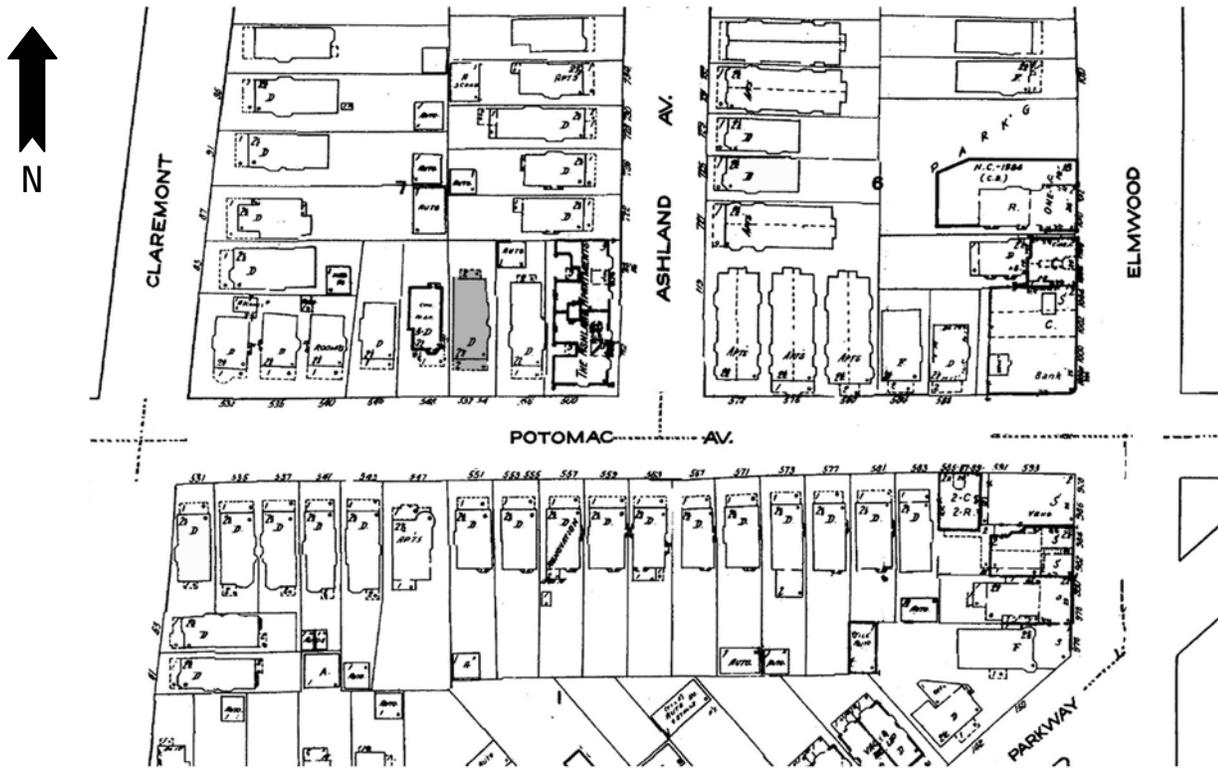
NON-CONTRIBUTING

A two-and-one-half story, cross gabled, urban, frame residence of modest mixed Queen Anne styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 552 Potomac Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains some of its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-25)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 556 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 556 Potomac Avenue is set on a standard lot, located on the north side of the street, on the block between Claremont Avenue and Ashland Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

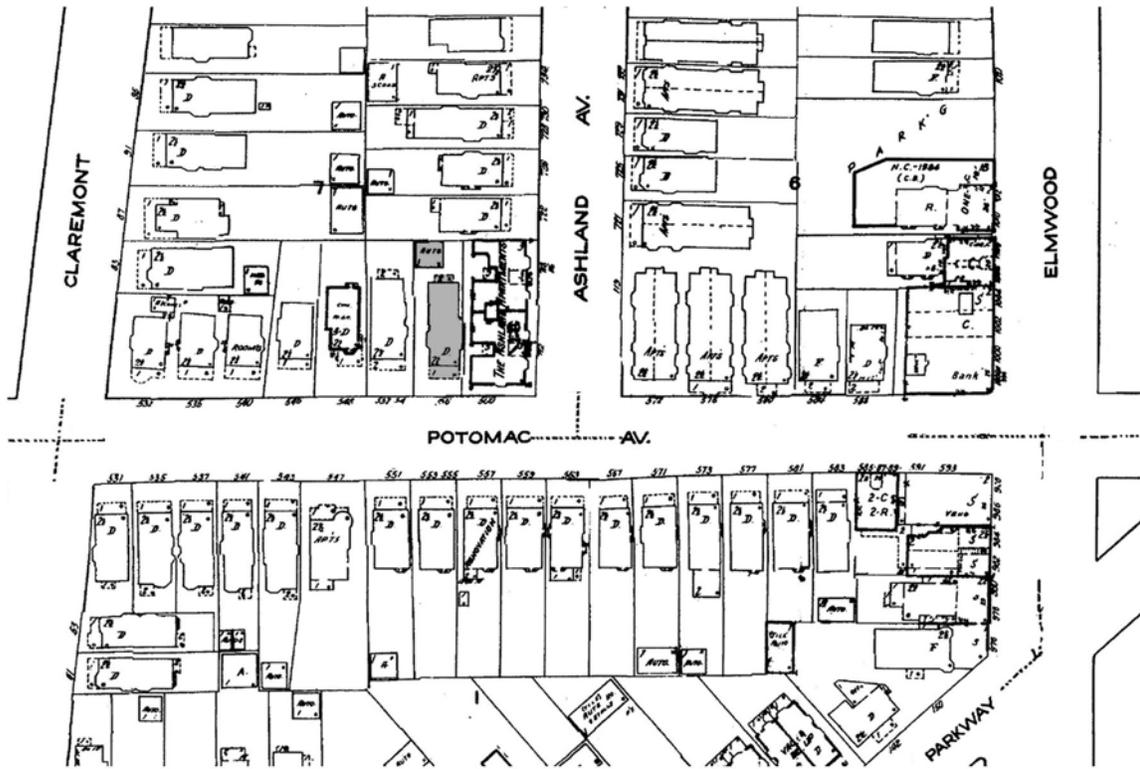
NON-CONTRIBUTING

A two-story, hipped roof, urban, frame residence of modest mixed period vernacular Queen Anne styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 556 Potomac Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains some of its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-38; N-17)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 557 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input checked="" type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

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IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 557 Potomac Avenue is set on a standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

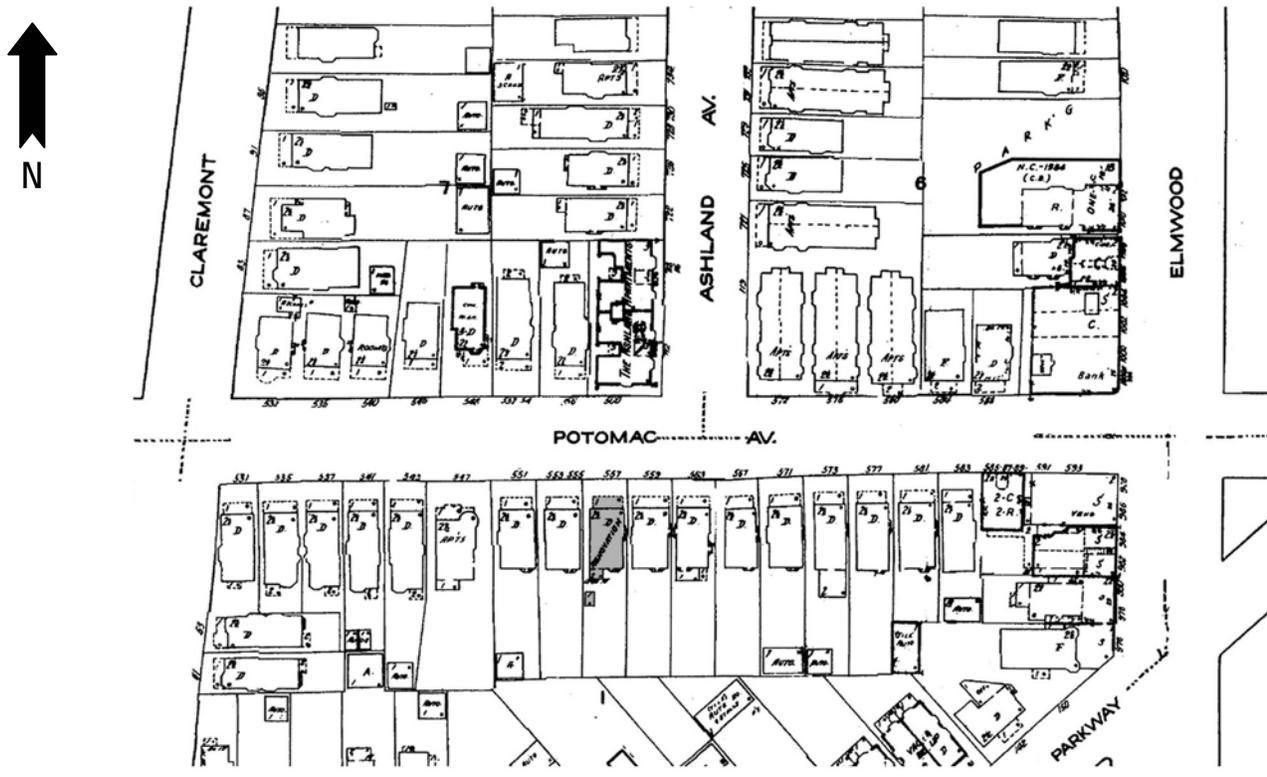
NON-CONTRIBUTING

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 557 Potomac Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics of altered asbestos shingling, the residence retains some of its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-38; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 559 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 559 Potomac Avenue is set on a standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

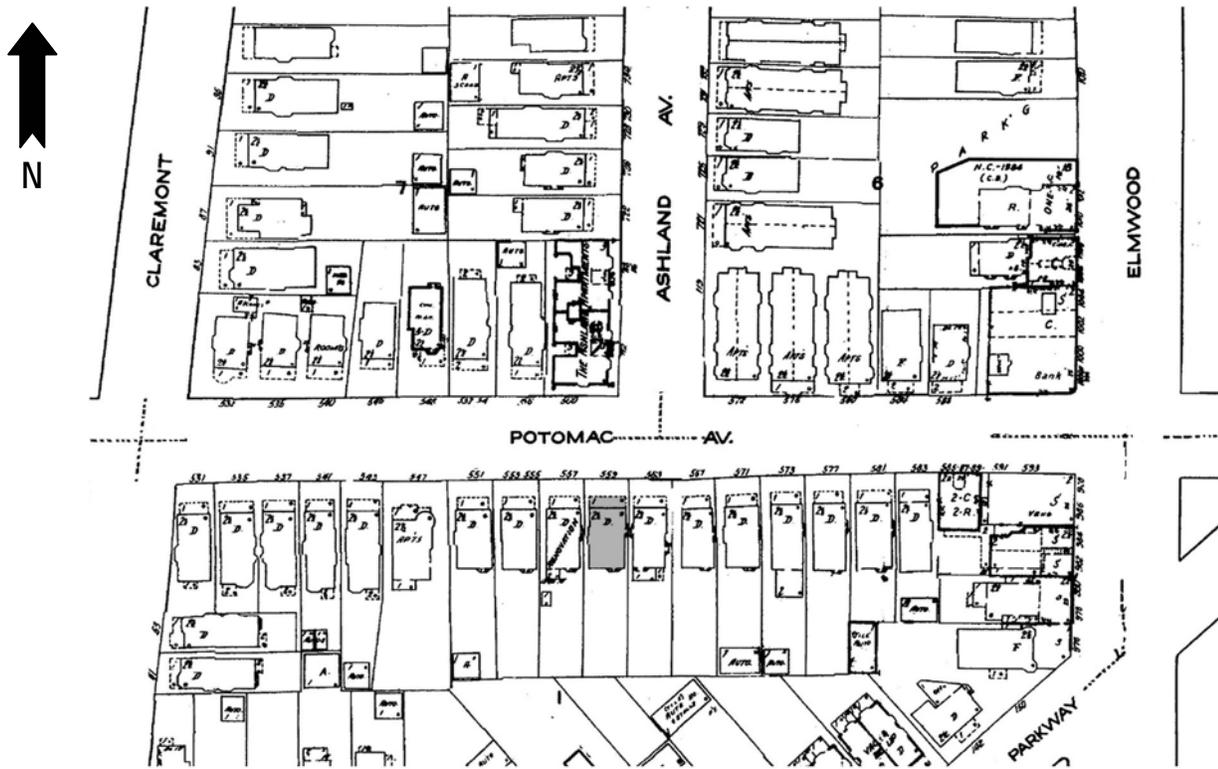
NON-CONTRIBUTING

A two-and-one-half story, front gabled, urban, frame residence of vernacular Queen Anne style.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 559 Potomac Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, the residence retains some of its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-38; N-21)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 560 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known Carson & Byrens Date of construction, if known 1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

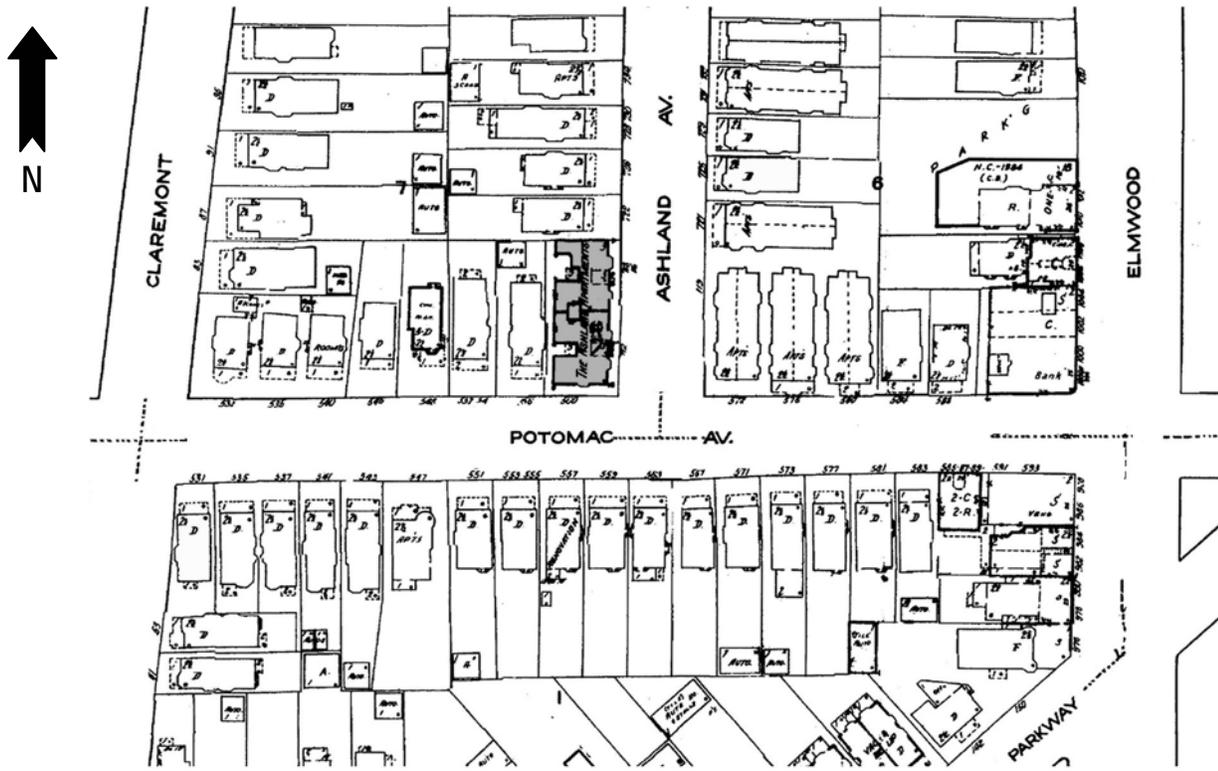
The multiple-family residence at 560 Potomac Avenue is set on a widened corner lot, located on the north side of the street, at the east end of the block between Claremont Avenue and Ashland Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A three-story, flat roofed, urban, brick, tenement of moderate styling. It has a large irregular plan and fronts Ashland Avenue. The symmetric façade is defined by matching modestly framed and sidelighted main entrances with hipped roofs set centrally in either side bay; distinct windowed enframements above. Each entrance is flanked on either side by a three-story roofed polygonal bay with tiered triple windowing and an outer set of single windows aligned over one another. The south elevation fronting Potomac Avenue is defined by a central three-story roofed polygonal bay with tiered triple windowing and even tiered single windowing in the west bay. Exterior fabric is brick. Fenestration is primarily one-over-one double hung wood sash and fixed; stone sills and keystone lintels. Additional detailing includes a wide patterned brick band at the capital and subtle spaced belt course bands.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 560 Potomac Avenue is significant as a good representative example of a three-story, flat roofed, urban, brick, tenement of moderate styling. Brick tenement built for Henry H. Lanctot. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-24; N-37)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 563 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known 1897

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

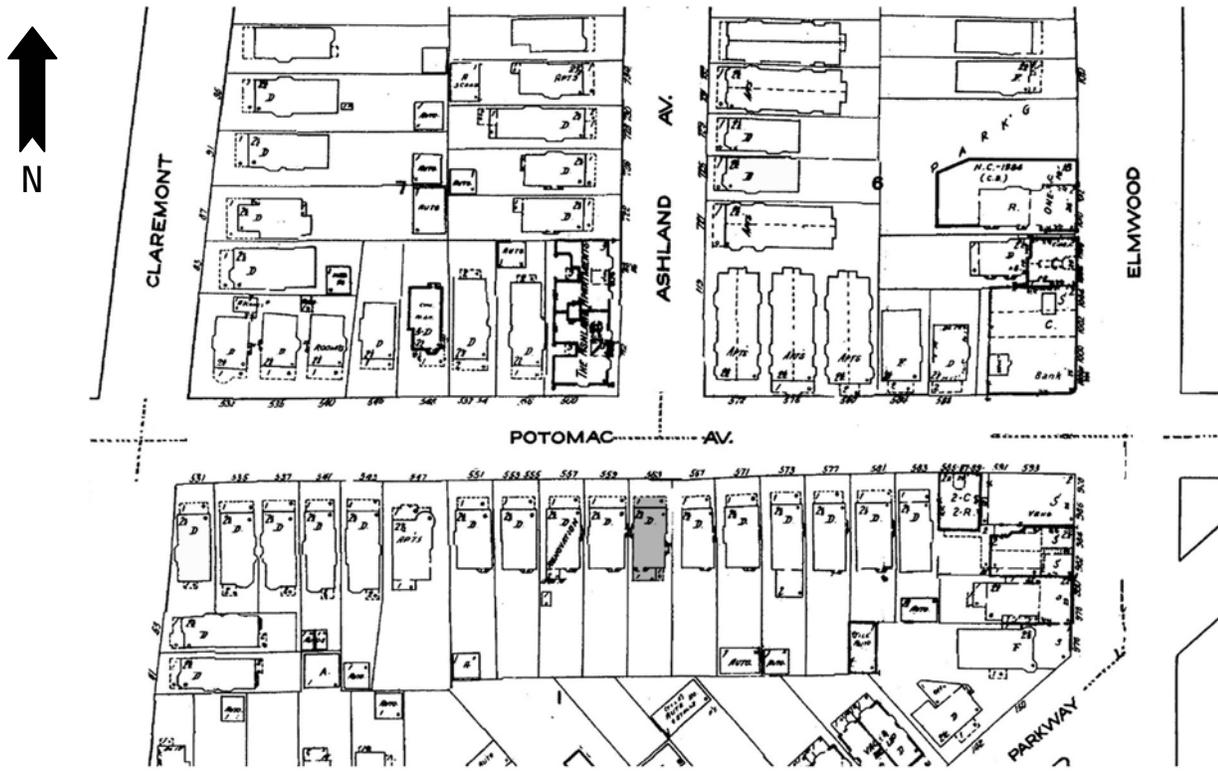
The single-family house at 563 Potomac Avenue is set on a standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-story, hipped roof, urban, frame residence of modest mixed period styling. It has a rectangular plan and is set on a stone foundation. The façade has a full-width shed roof porch with ¾-height metal supports set atop solid capped stone rail that extends down into the foundation and a railed entry stair in the east. The main entrance is located in the east bay of the façade. A small square window sets to the east of the entrance, in the far side bay. A triple window group occupies the west bay. The second floor façade is defined by matching paired windows in either side bay and a central framed oval oculus. A hipped roof dormer accented by a triple window group with latticework panes sets on the front roof slope. Similar dormer with paired window accent sets on the east roof slope. Roofed, second-story, polygonal oriel visible on the east elevation. Short brick chimney visible at the ridge to the front of the dormer. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 563 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed period styling. Styled urban singles of the prevailing trends were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for E. M. Spanner. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-22)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 571 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1897-1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 571 Potomac Avenue is set on a standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

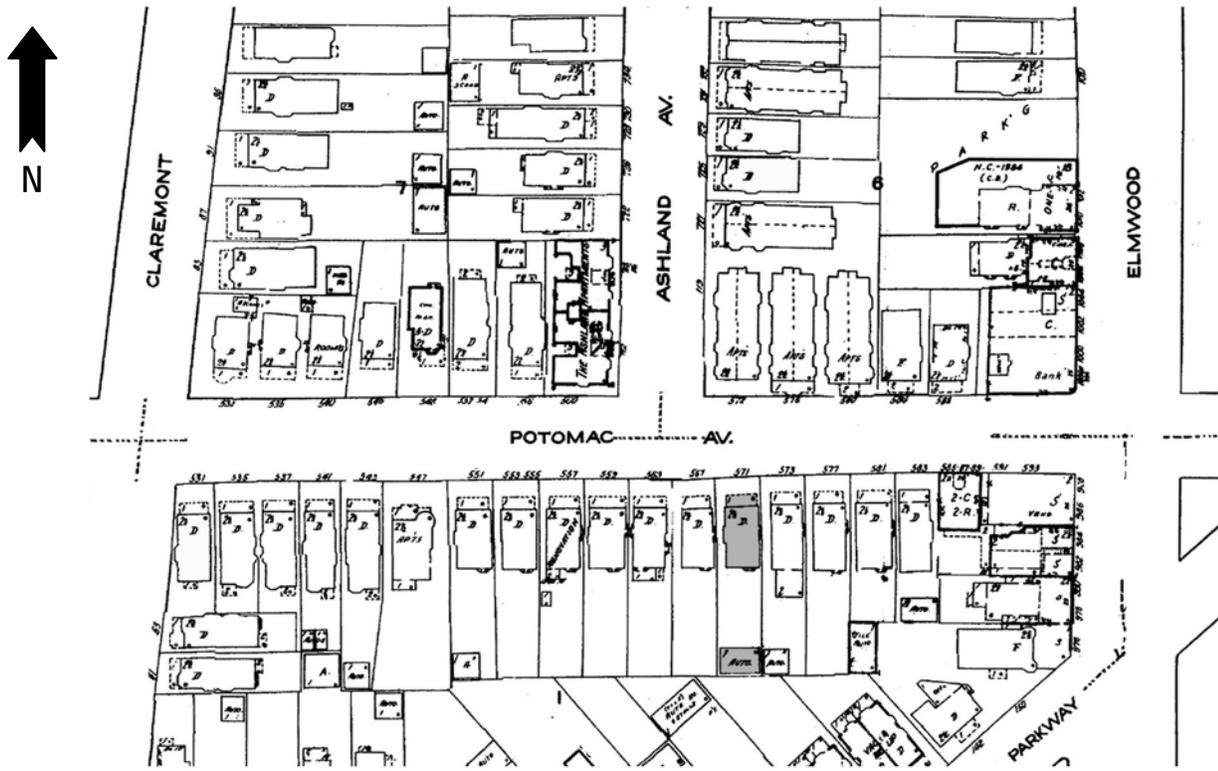
A two-story, hipped roof, urban, frame residence of modest mixed period styling. It has a rectangular plan and is set on a stone foundation. The main entrance is located on the façade off center to the west, roofed with a small open bracketed pediment and reach by a small metal railed entry stair. A small leaded window sets to the west of the entrance, in the side bay. A paired window group occupies the east bay. The second floor façade is defined by matching paired windows in either side bay. A hipped roof dormer accented by a triple window group with central 6/1 lights sets on the front roof slope; modern fire escape extends downward across the façade and down the west elevation. A large gabled dormer with window accent sets on the west roof slope; full-height rectangular bay beneath on the west elevation. Short brick chimney visible at the ridge to the front of the dormer. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze, trim and framing.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 571 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed period styling. Styled urban singles of the prevailing trends were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Built Henry J. Tharle. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-24)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 572 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known William L. Schmolle Date of construction, if known 1902

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input checked="" type="checkbox"/> other: asphalt shingle	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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The multiple-family residence at 572 Potomac Avenue is set on a widened corner lot, located on the north side of the street, at the west end of the block between Ashland Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

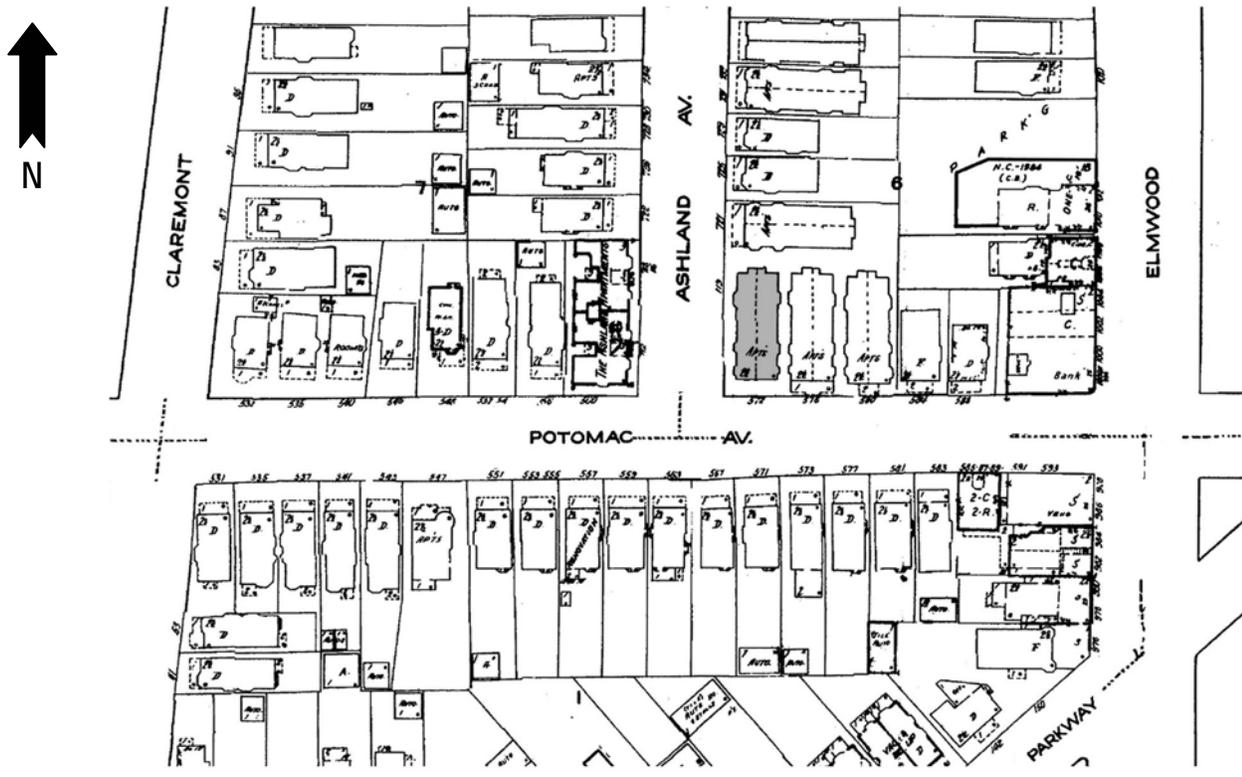
NON-CONTRIBUTING

A two-story, hipped roof, urban, frame residence of free classic Queen Anne style.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 572 Potomac Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. The residence retains its initial styling and character, despite the changes in exterior fabrics. Four-family tenement built for Flora J. Tharle, who built 572, 576 and 580 Potomac and 721 Ashland at the same time.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-38; N-18)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 573 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1897-1898

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: Replacement windows Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

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The two-family house at 573 Potomac Avenue is set on a standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

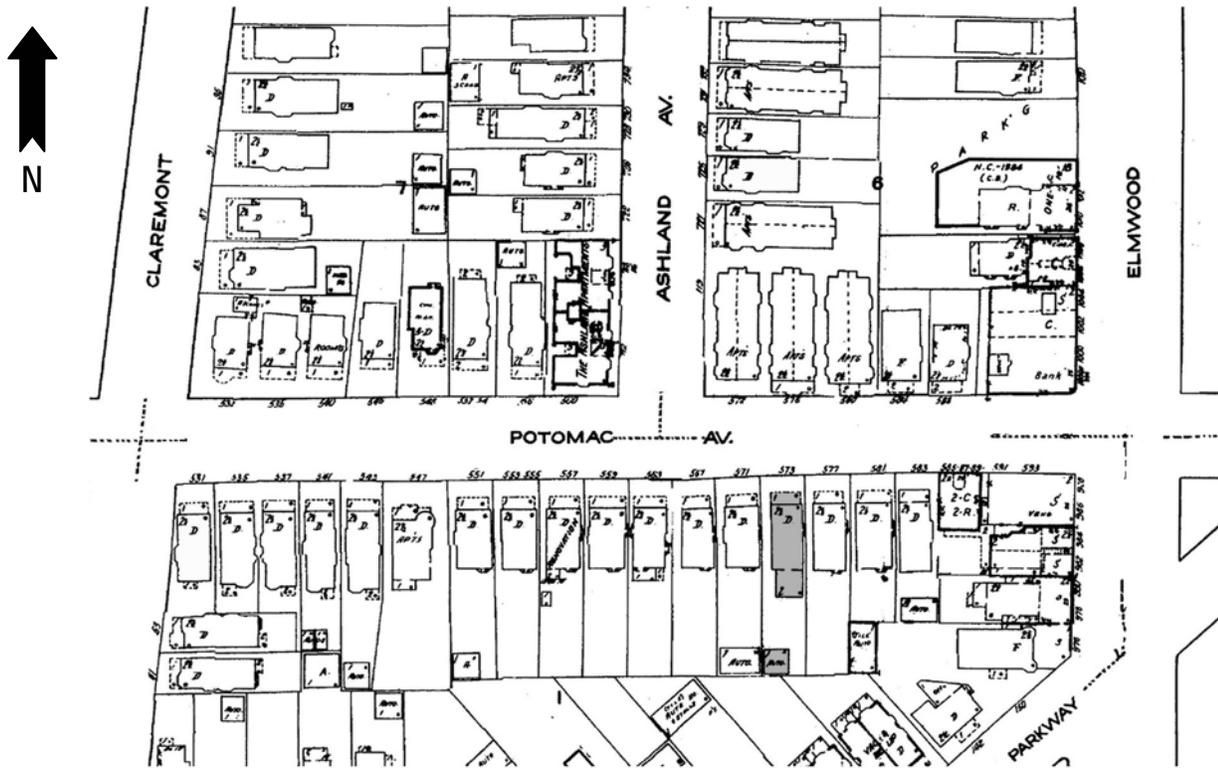
A two-and-one-half story, front gabled, urban, frame residence of modest mixed vernacular Queen Anne style. It has a regular rectangular plan with rear extension and is set on a stone foundation. The façade has a full-width porch with square columns, solid paneled wood rail, modest frieze space, and an entry stair off center to the east. The main entrance is located in the west bay of the façade. A small window sets to the west of the entrance, in the far side bay. A large paired window group occupies the east bay. The second floor façade has an open porch with metal rail and awning supports, a polygonal oriel with central porch entrance in the west, and a paired window in the east bay. The pent enclosed front gable end is punctuated by an unusual triple window group; lower front gable with window accent contained within the main gable, located in the west over the second-story oriel. Two gabled dormers with window accents set on the west roof slope. A brick chimney sets on the east roof slope. Exterior wall fabric is wood clapboard and shingle. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner boards, frieze, and trim.

A garage sets in the rear west corner of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 573 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of modest mixed vernacular Queen Anne style. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built Henry J. Tharle. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-15; N-25)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 576 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known William L. Schmolle Date of construction, if known 1902

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

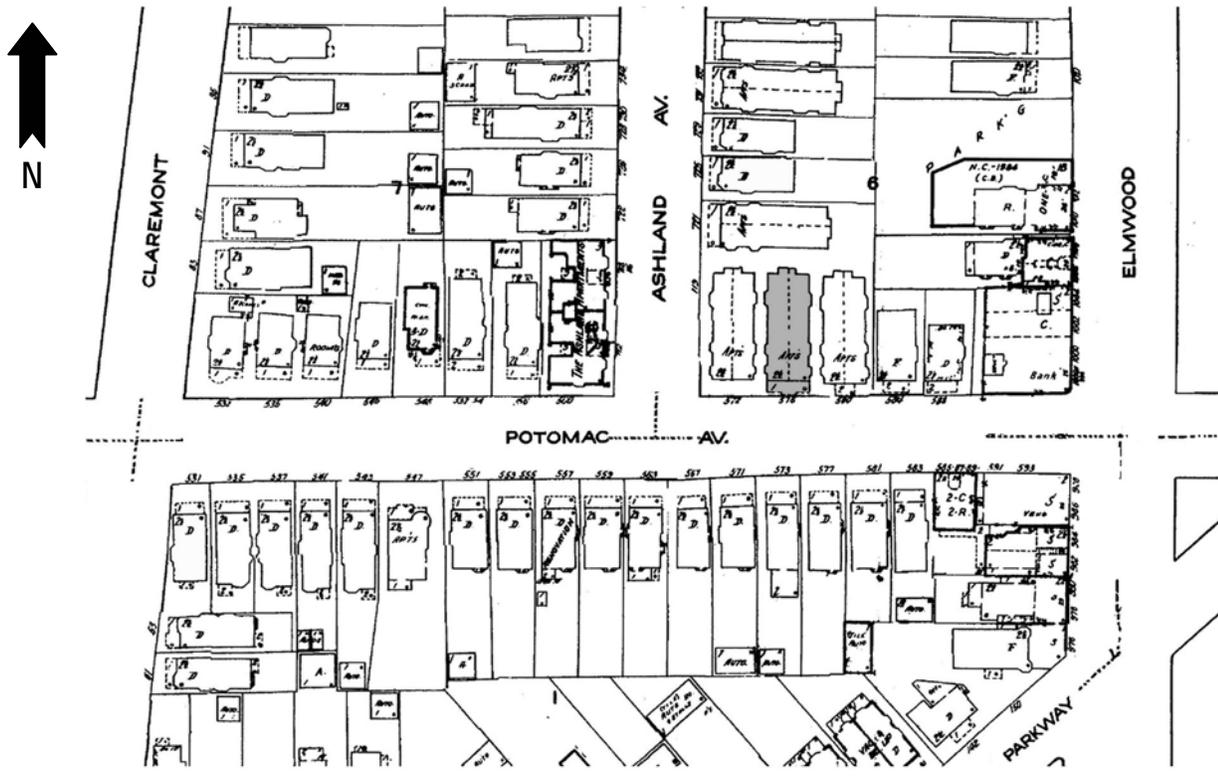
The multiple-family residence at 576 Potomac Avenue is set on a widened standard lot, located on the north side of the street, on the block between Ashland Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-story, hipped roof, urban, frame residence of free classic Queen Anne style. It has a long roughly rectangular plan and is set on a stone foundation. The façade has a full-width porch with metal rail and supports, modest entablature, and a small central extension over the railed entry stair. The modestly enframed and sidelighted main entrance is located centered on the façade, within a shallow enclosed vestibule. Three evenly spaced single windows set in either bay. The second floor façade has an open porch with metal rail, an enframed central porch entrance, and matching triple windowed polygonal oriels in either side bay. A rounded-top dormer with Palladian window accent sets centrally on front roof slope; flanked on either side by a small gabled dormer with end returns and a arched single window with leaded upper. Four similar gabled dormers set spaced along the side roof slopes; multiple full-height polygonal bays beneath on the side elevations. Brick chimney visible to the front on the west roof slope. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional leading. Additional detailing includes elaborate corner pilasters, wide frieze and cornice, trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 576 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of free classic Queen Anne style. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Frame 4-family tenement built for Flora J. Tharle, who built 572, 576 and 580 Potomac and 721 Ashland at the same time. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-26)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 577 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. _____

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

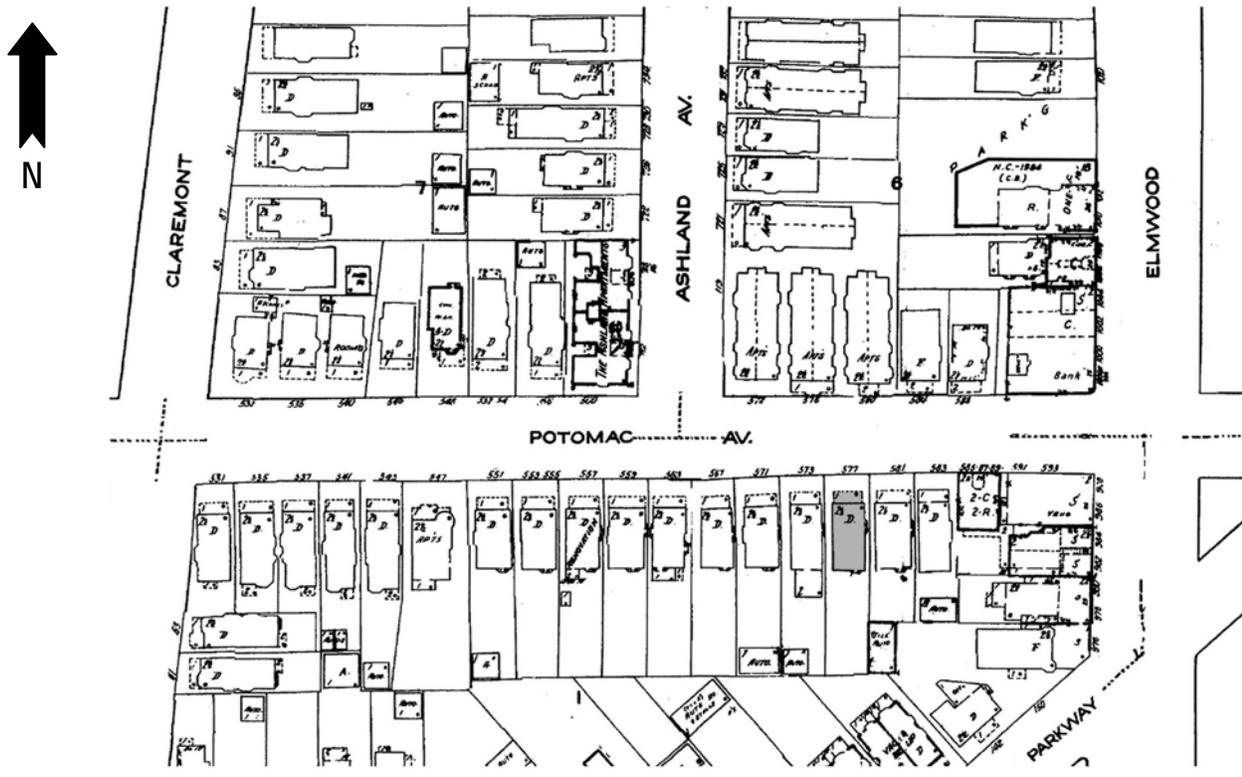
The single-family house at 577 Potomac Avenue is set on a standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-story, hipped roof, urban, frame residence of modest mixed period styling. It has a rectangular plan and is set on a stone foundation. The façade has a half-width flat roofed porch in the west. The main entrance is located in the west bay of the façade, under the porch. A large multi-paned window occupies the east bay. The second floor façade is defined by paired windows set in either side bay. A hipped roof dormer accented by a paired window sets on the front roof slope. Similar dormer sets on the west roof slope; projection beneath on the west elevation. Short brick chimney visible at the ridge to the rear of the side dormer. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes modest corner boards, frieze, and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 577 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of modest mixed period styling. Modestly styled singles and doubles of the prevailing trends were common housing for families in the late nineteenth and early twentieth centuries on the West Side, though those of the Queen Anne style were most predominant. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R38-; N-19)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 580 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known William L. Schmolle Date of construction, if known 1902

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

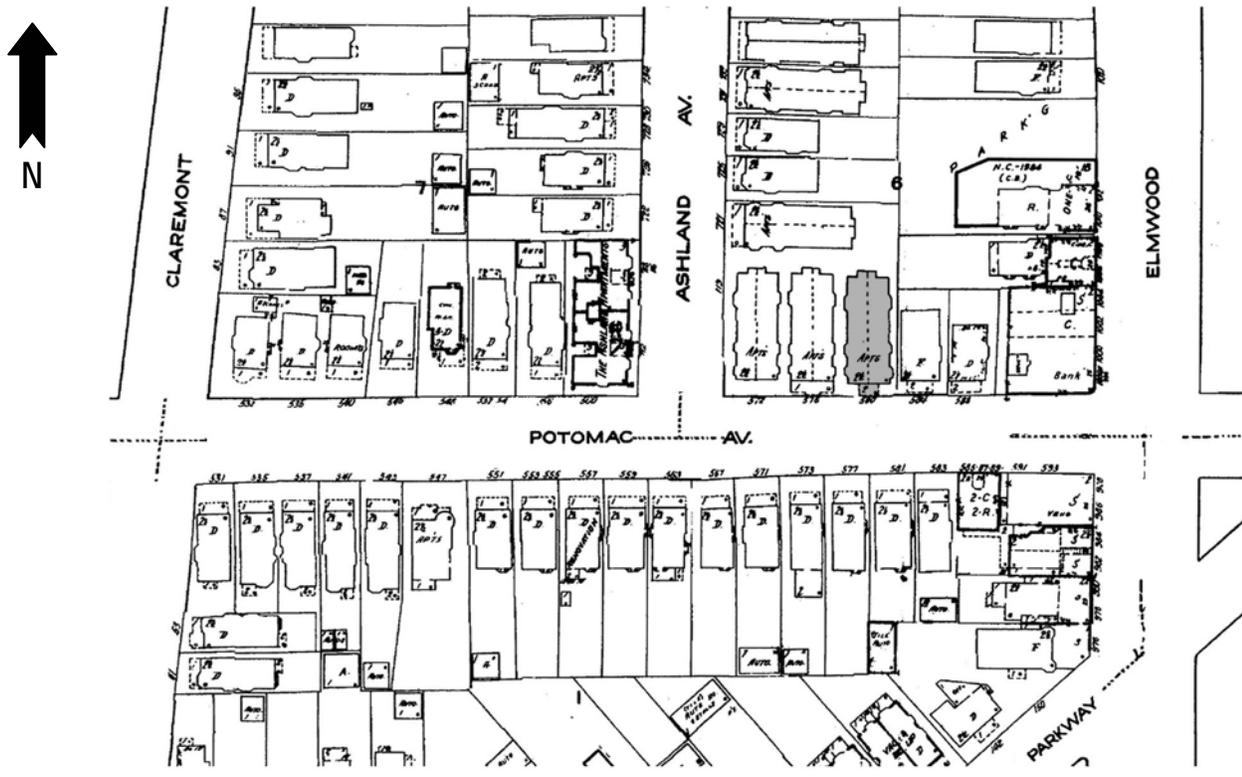
The multiple-family residence at 580 Potomac Avenue is set on a widened standard lot, located on the north side of the street, on the block between Ashland Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-story, hipped roof, urban, frame residence of free classic Queen Anne style. It has a long roughly rectangular plan and is set on a stone foundation. The façade has a full-width porch - side bays open with metal rail; central portion roofed with square columns, extended eave and small frieze, and a central railed entry stair. The enframed and sidelighted main entrance is located centered on the façade, within a shallow enclosed vestibule. Framed triple window groups set in either side bay. The second floor façade has a central open porch with metal rail and enframed porch entrance with lattice paned sidelights and large fanlight. Matching triple window groups define either side bay. Three small gabled dormer with end returns and an arched single window accent with leaded upper set spaced along the front roof slope. Four similar gabled dormers set spaced along the side roof slopes; multiple full-height polygonal bays beneath on the side elevations. Brick chimney visible to the front on the side roof slopes. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed, with occasional leading. Additional detailing includes noted corner pilasters, modest frieze and cornice, trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 580 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, frame residence of free classic Queen Anne style. Moderate Queen Anne residences of varied styling and influences were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side. Frame 4-family tenement built for Flora J. Tharle, who built 572, 576 and 580 Potomac and 721 Ashland at the same time. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-27)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 583 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input checked="" type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The two-family house at 583 Potomac Avenue is set on a shortened standard lot, located on the south side of the street, on the block between Claremont Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

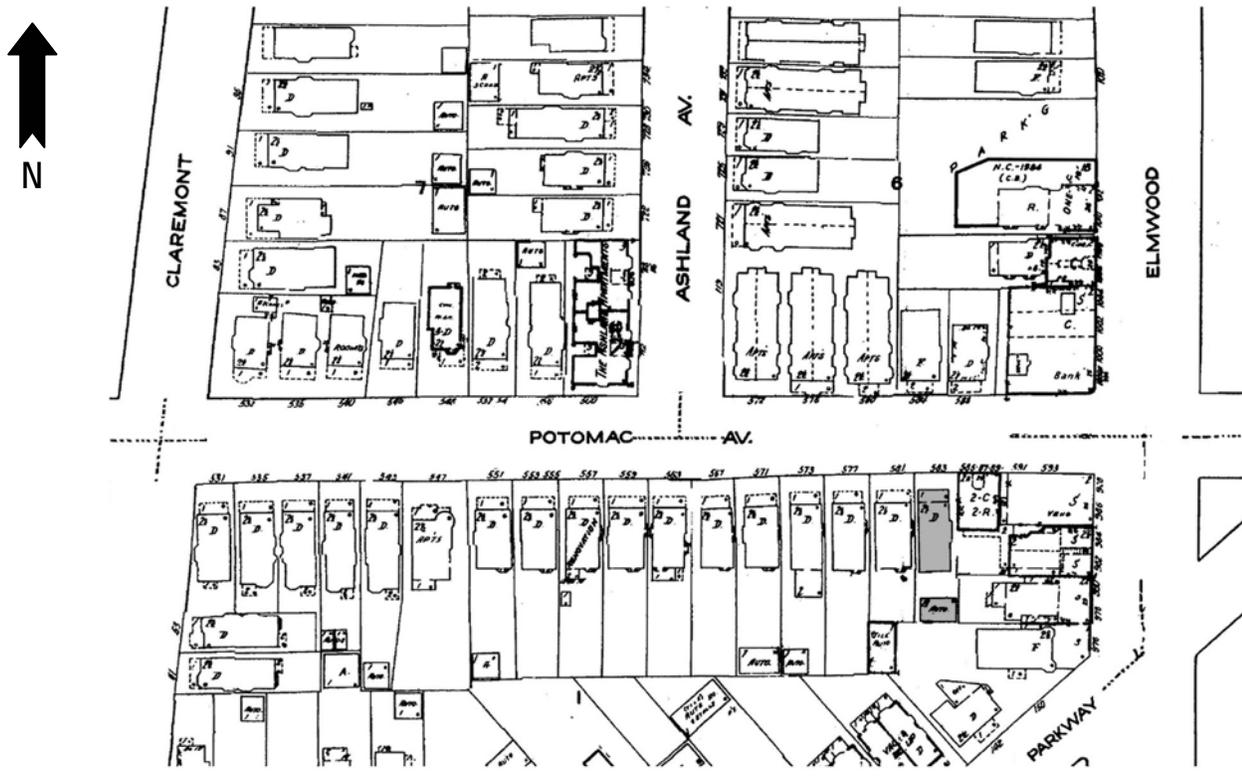
NON-CONTRIBUTING

A two-and-one-half story, front gabled, urban, frame residence of mixed vernacular Queen Anne styling.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 583 Potomac Avenue is significant as a **non-contributing** building of the Richmond Avenue – Ashland Avenue Historic District. Despite the changes in exterior fabrics, the residence retains some of its initial styling and character.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-38; N-20)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____
Address or Street Location 584 Potomac Avenue
County Erie Town/City Buffalo Village/Hamlet _____
Owner _____ Address _____
Original use Residential Current use Residential
Architect/Builder, if known _____ Date of construction, if known c. 1900

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____
Alterations, if known: _____ Date: _____
Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

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Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

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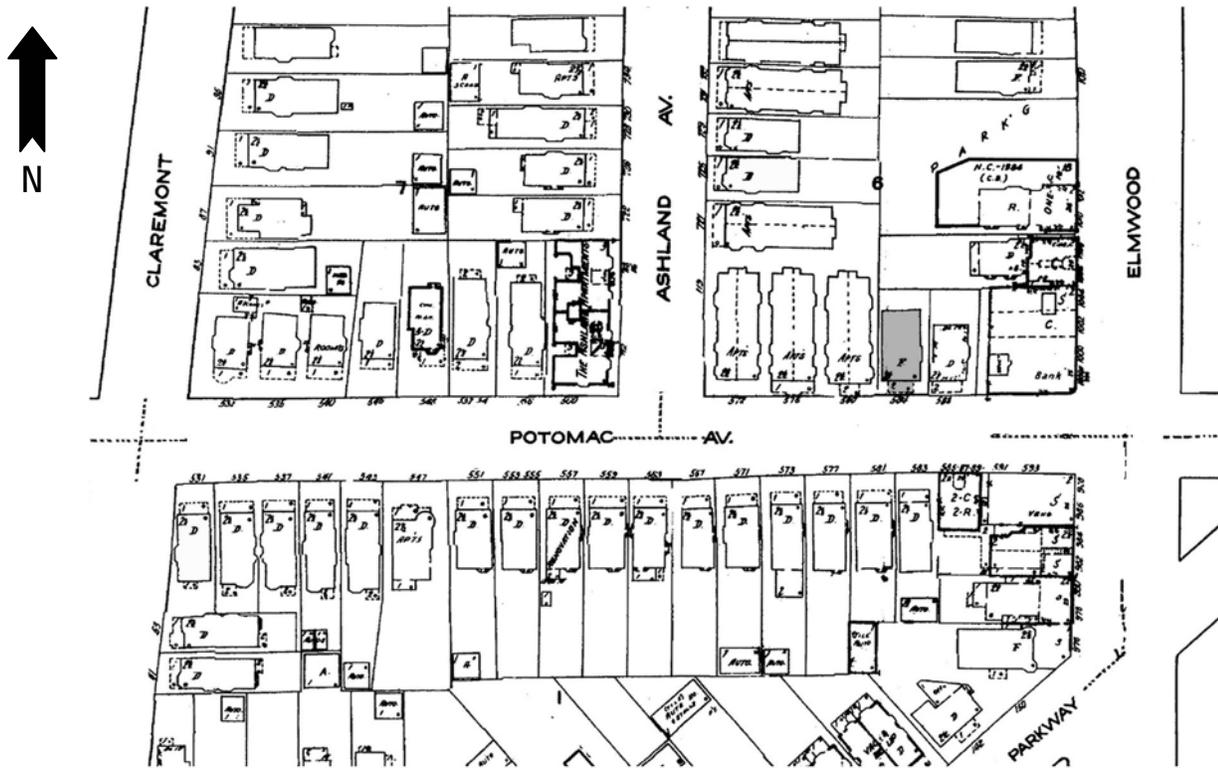
The multiple-family residence at 584 Potomac Avenue is set on a shortened standard lot, located on the north side of the street, on the block between Ashland Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-and-one-half story, front gabled, urban, frame residence of simple vernacular Queen Anne styling. It has a large rectangular plan and is set on a stone foundation. The façade has a centered 2/3-width porch with 3/4-height Ionic column supports set on wood posts, metal rail, modest entablature, and clapboard covered foundation. An entrance is located centered on the façade, under the porch. A single window sets to either side under the porch, an additional single window in the far side bay. The second floor façade has a centered 2/3-width open porch with metal rail and a central porch entrance. Single windowing defines either side bay, aligned over the lower-story fenestration. The pent enclosed gable end is punctuated by an enframed quartet window group; remaining fire escape door to the far west. A large pedimented gable sets on the east roof slope; rectangular oriel on the side elevation, over an additional side entrance. Brick chimney visible to the front on the east roof slope. Exterior wall fabric is wood clapboard. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple corner pilasters, frieze, trim and framing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 584 Potomac Avenue is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of simple vernacular Queen Anne styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-23; N-28)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION & HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 588 Potomac Avenue

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1907

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

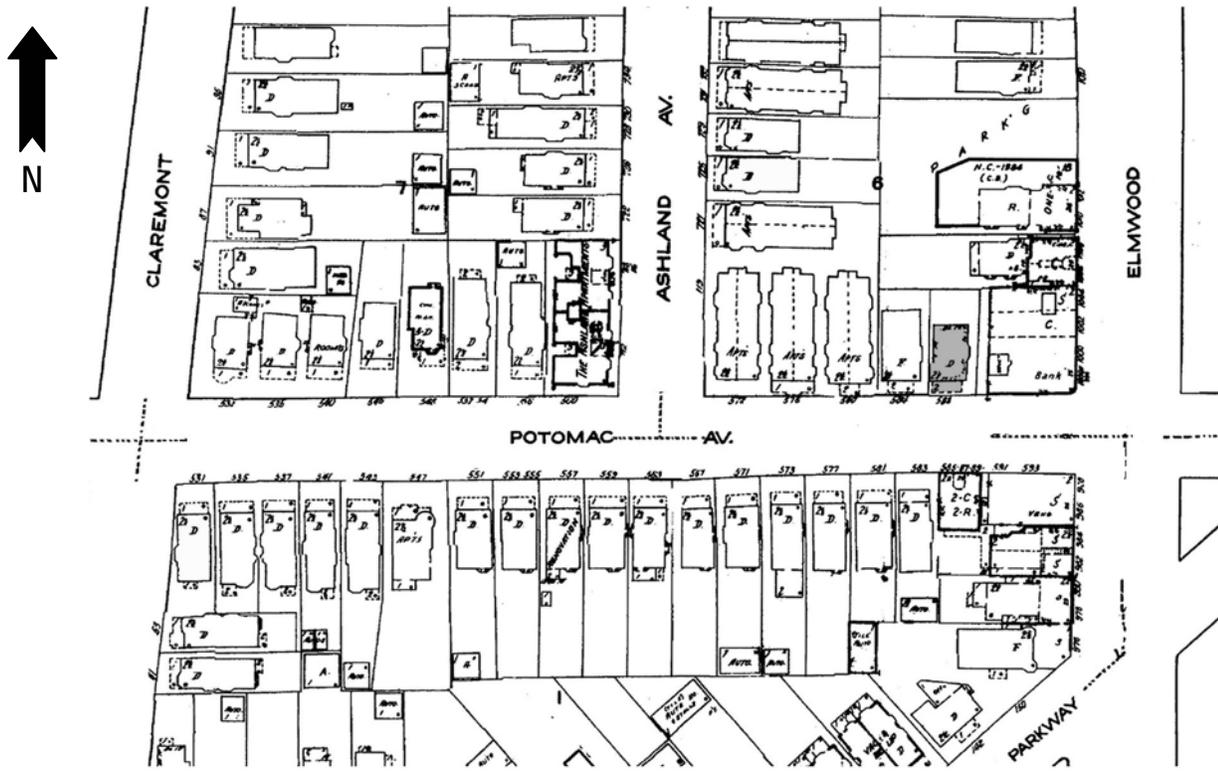
The single-family residence at 588 Potomac Avenue is set on a shortened standard lot, located on the north side of the street, on the block between Ashland Avenue and Elmwood Avenue. Potomac Avenue is a prominent east-west, primarily residential, street that runs across this West Side neighborhood. The property is located in a moderate residential area of the north east section of the Grant-Ferry-Forest Neighborhood.

A two-story, hipped roof, urban, brick and frame residence of modest mixed period styling. It has a short rectangular plan and is set on a stone foundation. The façade has a full-width porch with ¾-height grouped Ionic column supports set atop solid capped brick piers that extends down into the foundation, spindled wood rail, moderate entablature, and a metal railed entry stair in the east. The main entrance is located in a subtle recession the east bay of the façade. A round oculus sets to the east of the entrance, in the far side bay. A paired window group occupies the west bay. The second floor façade is defined by an enclosed flat roofed porch with shingled base and continuous windowed upper with transoms and ¾-height corner pilasters. A hipped roof dormer accented by a paired window with 4/1 lights sets on the front roof slope. Additional roofed side entrance visible on the east elevation. Brick chimney visible at the ridge. Exterior wall fabric is brick on the lower story with wood shingle upper. Fenestration is primarily one-over-one double-hung wood sash and fixed. Additional detailing includes simple belt course, wide frieze and trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 588 Potomac Avenue is significant as a good representative example of a two-story, hipped roof, urban, brick and frame residence of modest mixed period styling. Modestly styled urban singles and doubles of varied Queen Anne influence, such as this, were common housing for families in the late nineteenth and early twentieth centuries on the West Side. Built for George N. Mead. A Contributing building to the Richmond Avenue - Ashland Avenue Historic District.

MAP: Sanborn Map (Revised 1986) – Plate 338



PHOTOGRAPH: (Grant-Ferry-Forest: R-5; N-14)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 7 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1894

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

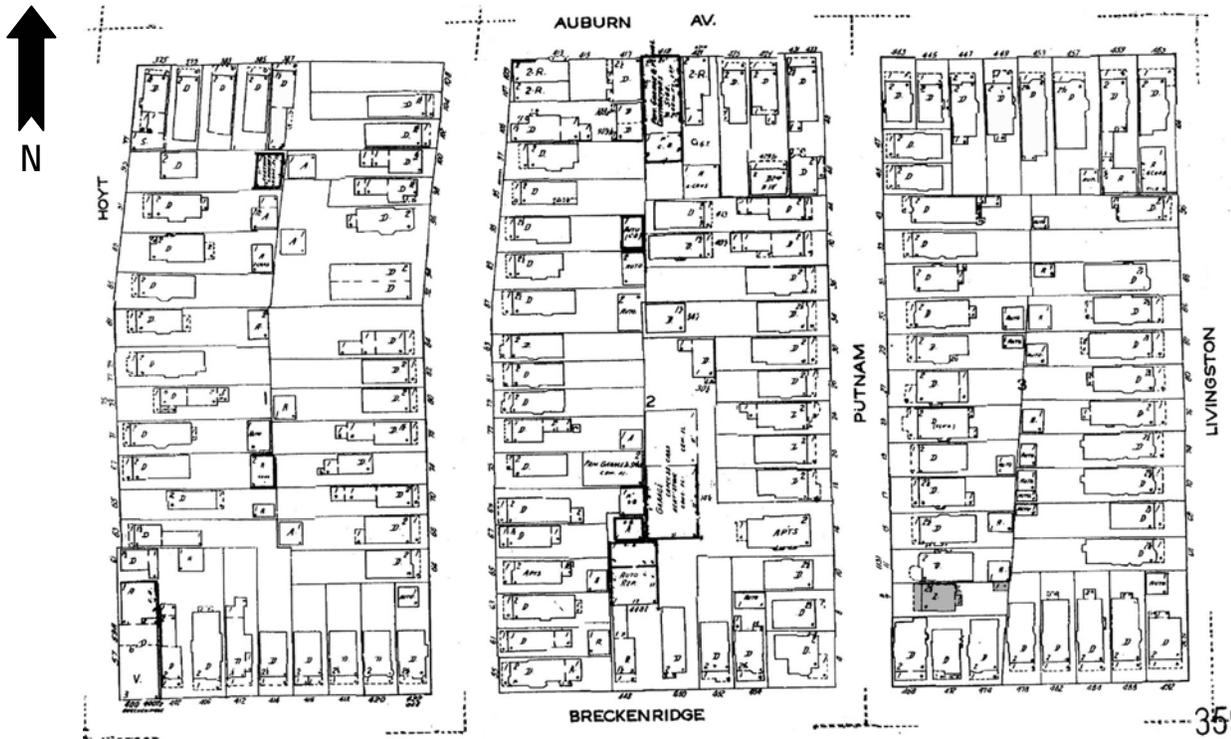
The single-family house at 7 Putnam Street is set on a standard lot, located on the east side of the street toward the south end of the block between Breckenridge Street and Auburn Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, side gabled, vernacular urban, frame residence with foursquare design influence and simple mixed styling. It has a rough square plan and is set on a stone foundation. The façade has a full-width, shed roof porch with modern metal rail and supports, frieze, and small scrolled pediment over the entry stair in the south bay. The main entrance is located in the south bay of the façade. A large triple window grouping occupies the north bay. The second floor façade has a projecting polygonal oriel in the north bay flush beneath the eave. A large gabled dormer accents the front slope. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest corner boards, trim, and bracketing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 7 Putnam Street is significant as a good representative example of a two-and-one-half story, side gabled, vernacular urban, frame residence with foursquare design influence and simple mixed styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Charles G. Herger.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-7)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 14 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input checked="" type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The multiple-family house at 14 Putnam Street is set on a long ell shaped lot, located on the west side of the street toward the south end of the block between Breckenridge Street and Auburn Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

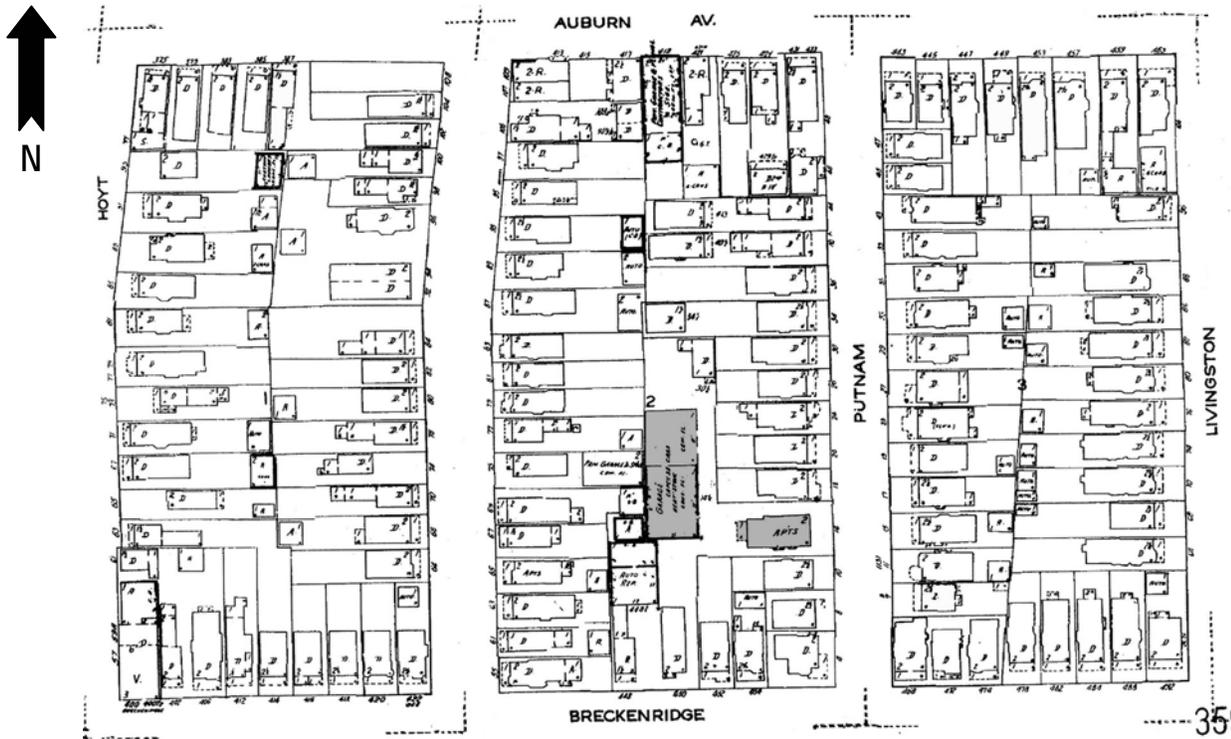
A two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has half-width open entry porch with metal rail and brick foundation. A main entrance is located off center to the south. A second main entrance is located in the notched first-floor southern corner of the façade. A roofed curved bay rounds and dominates the north first floor corner of the façade. The second floor façade has simple fenestration. North elevation first floor recessed slightly beneath the upper stories with exposed rafter tails; protruding polygonal bay flush beneath the upper stories. Multiple bays on the south elevation. Exterior wall fabrics are clapboard on the first story with wood shingle on the upper floor and in the gable ends. Fenestration is one-over-one double-hung wood sash and fixed. A large window grouping recessed within a arced cutout punctuates the front gable peak. An exterior brick chimney bisects the north side gable end.

A large garage spans the rear length of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 14 Putnam Street is significant as a good representative example of a two-and-one-half story, cross gabled, urban, frame residence with Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-6)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 27 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

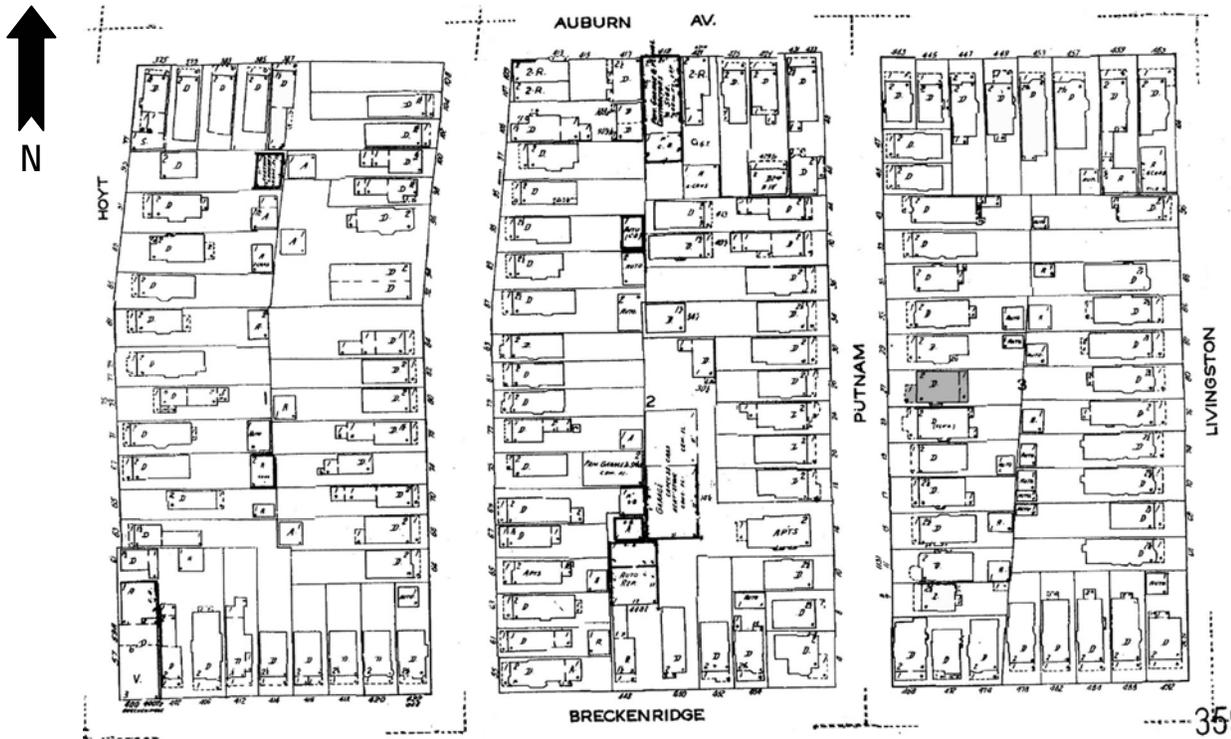
The single-family house at 27 Putnam Street is set on a slightly trapezoidal lot, located on the east side of the street on the block between Breckenridge Street and Auburn Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-story, hipped roof, urban frame residence with mixed Colonial influences. It has a rough square plan and is set on a stone foundation. The façade has a ½-width projecting porch to the south, with square column supports, open wood rail, and wide frieze. The main entrance is located in the south bay of the façade under the porch within a slight recession. A large triple window grouping with elaborate festooned broken pediment enframing occupies the north bay. The second floor façade has a centered leaded oval oculus with ornamental framing; large windows occupy the side bays. A gabled roof dormer with paired arched windows accents the front slope. Exterior wall fabric is wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include large corner pilaster, frieze and cornice trim with dentils, and flat trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 27 Putnam Street is significant as a good representative example of a two-story, hipped roof, urban frame residence with mixed Colonial influences. Notable triple window grouping with elaborate festooned broken pediment enframing on the façade. Such moderately styled single-family dwellings were typical of middle class, urban living in the early twentieth century on the West Side of Buffalo.

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-5)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 36 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1909

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

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Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

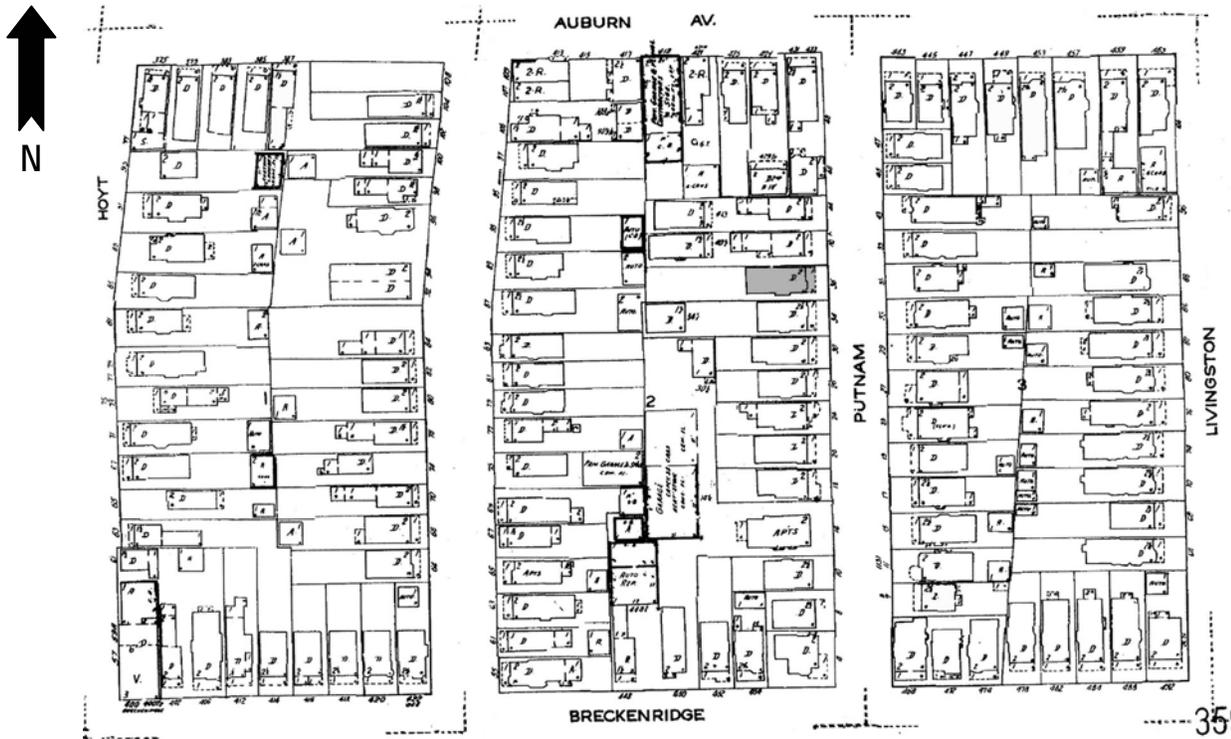
The single-family house at 36 Putnam Street is set on a standard lot, located on the west side of the street on the block between Breckenridge Street and Auburn Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne design and styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width roof porch with fluted Doric column supports, spindled wood rail, and flat frieze. The main entrance is located in the north bay of the façade within a ½-width enclosed rectangular vestibule. A curved bay window occupies the south bay. The second floor façade has an open porch with ½-height wood posts and open wood rail, a porch entrance off center to the north, and a small curved oriel in the south bay flush beneath the projecting front gable end. A two-story protruding, rectangular bay is visible on the south elevation beneath the slightly projecting gabled dormer. Exterior wall fabrics are clapboard with decorative wood shingle in the gable end. Fenestration is one-over-one double-hung wood sash and fixed, with a small leaded glass window in the vestibule to the north of the doorway. A triple window grouping punctuates the front gable peak. Brick chimney visible in forward valley of the dormer and main slope. Additional detailing includes corner boards, frieze, and lookout rafters.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 36 Putnam Street is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence of moderate Queen Anne design and styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for Cornelius O. Cornell

MAP: Sanborn Map (Revised 1986) – Plate 358



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-4)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 75 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1894

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

The single-family house at 75 Putnam Street is set on a standard lot, located on the east side of the street on the block between Auburn Avenue and Lafayette Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

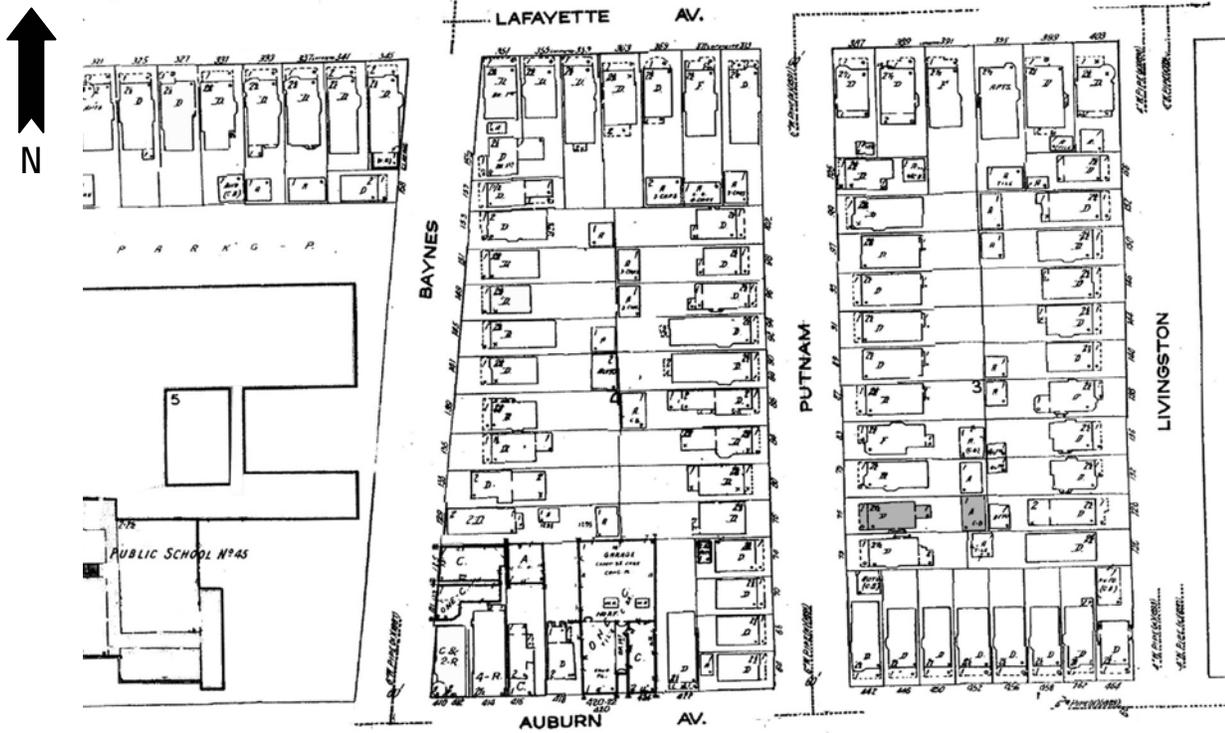
A two-story, hipped roof, urban, frame residence with foursquare influenced design and mixed period styling. It has a square plan and is set on a stone foundation. The façade has a full-width, flat roofed porch with modern metal rail and supports and central entry stair. The double doored main entrance is located in the center of the façade within a small rectangular vestibule. Two large windows occupy the side bays. The second floor façade is distinguished by a centered paired window group with a large window in both bays. A small hipped roof dormer accents the front slope. Gabled dormers rest on the north and south roof slopes. A roofed rectangular window bay is visible on the north elevation. Exterior wall fabrics are wood clapboard. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include corner pilasters, frieze, modest framing and trim, and lookout rafters on the dormers.

A large garage occupies the rear of the lot.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 75 Putnam Street is significant as a good representative example of a two-story, hipped roof, urban, frame residence with foursquare influenced design and mixed period styling. Modestly styled singles and doubles of the prevailing trends, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side, though those with heavy Queen Anne style were most predominant. Built for M. C. Van Duzen

MAP: Sanborn Map (Revised 1986) – Plate 350



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-3)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 84 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation: stone brick poured concrete concrete block

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc

Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext.

Email: cbca@buffnet.net

Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

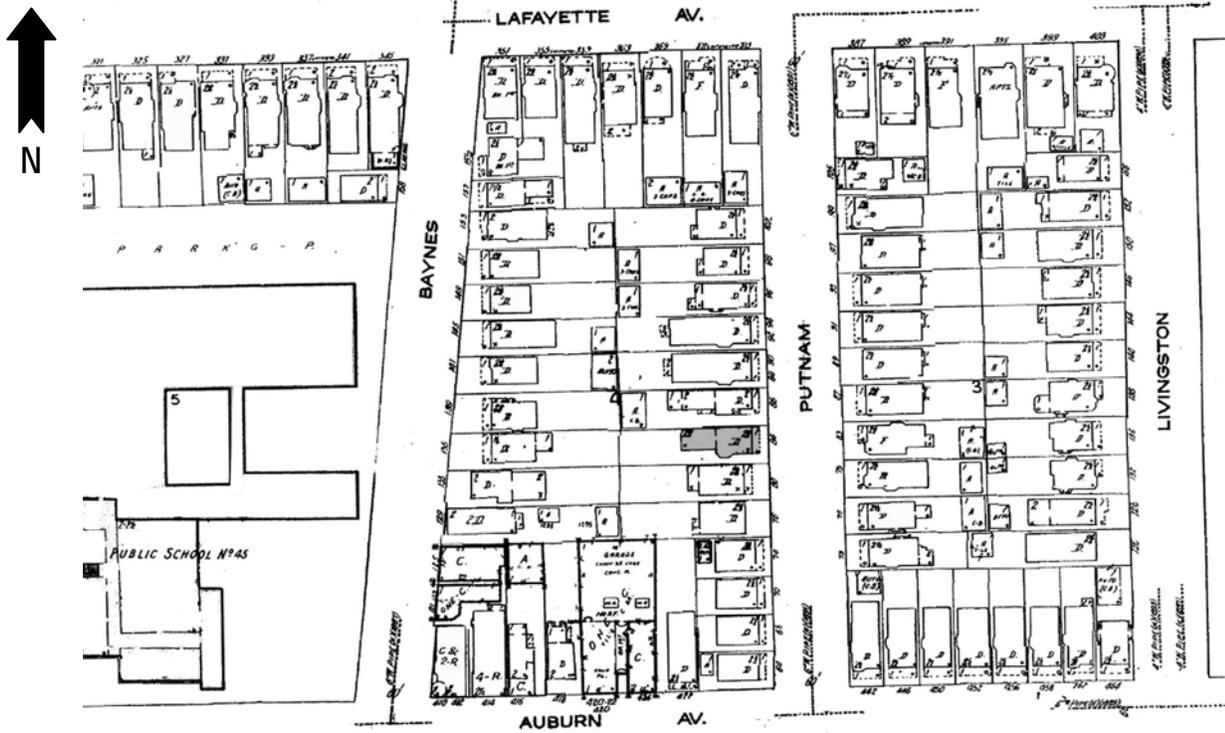
The single-family house at 84 Putnam Street is set on a standard lot, located on the west side of the street on the block between Auburn Avenue and Lafayette Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with grouped ¾-height Roman Tuscan column supports set on wood piers that flow into the solid decoratively shingled wood rail and foundation. Double doors with latticed panes that serve as the main entrance are located in the north bay of the façade. A large triple window grouping occupies the south bay. The second floor façade has an open porch with modern metal rail, a sidelighted porch entrance in the north bay over the entrance, and a projecting polygonal oriel in the south flush beneath the projecting gable end. Projecting polygonal bay to the rear of the south elevation. Exterior wall fabrics are clapboard with decorative wood shingle in the gable end. Fenestration is one-over-one double-hung wood sash and fixed. An unusual triple window grouping with elaborate enframing punctuates the front gable peak. Additional architectural details include modest corner boards, trim, and lookout rafters.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 84 Putnam Street is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with vernacular Queen Anne styling. Notable triple window grouping with elaborate enframing in the front gable peak. This frame house was enlarged in 1895 and 1914. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 350



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-2)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 97 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1894

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

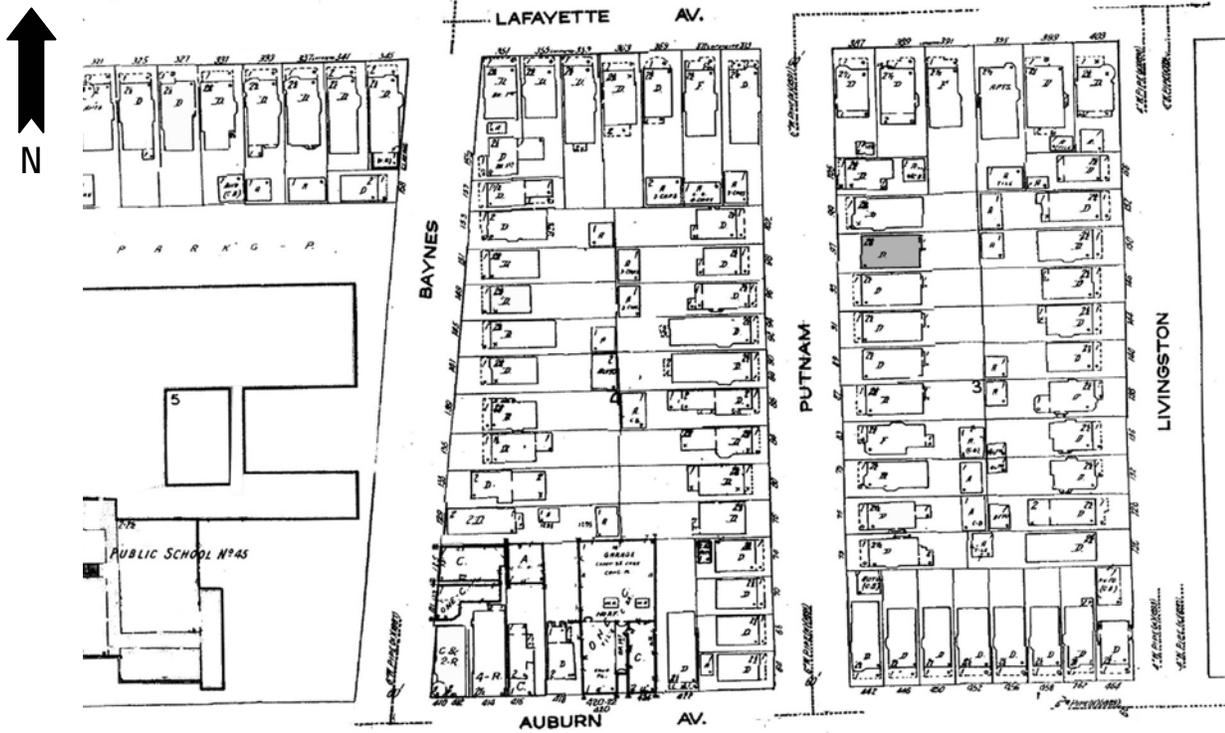
The single-family house at 97 Putnam Street is set on a standard lot, located on the east side of the street toward the north end of the block between Auburn Avenue and Lafayette Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, front-gabled, urban, frame residence with simple Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a centered entry porch with a flared arch roof and slender double Doric column supports. The main entrance with fanlight is located in the center of the façade beneath the porch. A large triple window grouping occupies the north bay. The second floor façade has a paired window in the north bay and a polygonal oriel in the south bay flush beneath the projecting gable end. A two-story protruding, rectangular bay is visible on the south elevation beneath the slightly projecting gabled dormer. Exterior wall fabric is wood clapboard. Fenestration is one-over-one, two-over-two, six-over-six, and eight-over-eight double-hung wood sash and fixed. A slightly recessed triple window grouping punctuates the front gable peak. Brick chimney visible in forward valley of the dormer and main south slope. Additional architectural details include modest corner boards, trim, and brackets.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 97 Putnam Street is significant as a good representative example of a two-and-one-half story, front-gabled, urban, frame residence with simple Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for George Sitterly.

MAP: Sanborn Map (Revised 1986) – Plate 350



PHOTOGRAPH: (Grant-Ferry-Forest: R-32; N-1)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 99 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known 1905

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

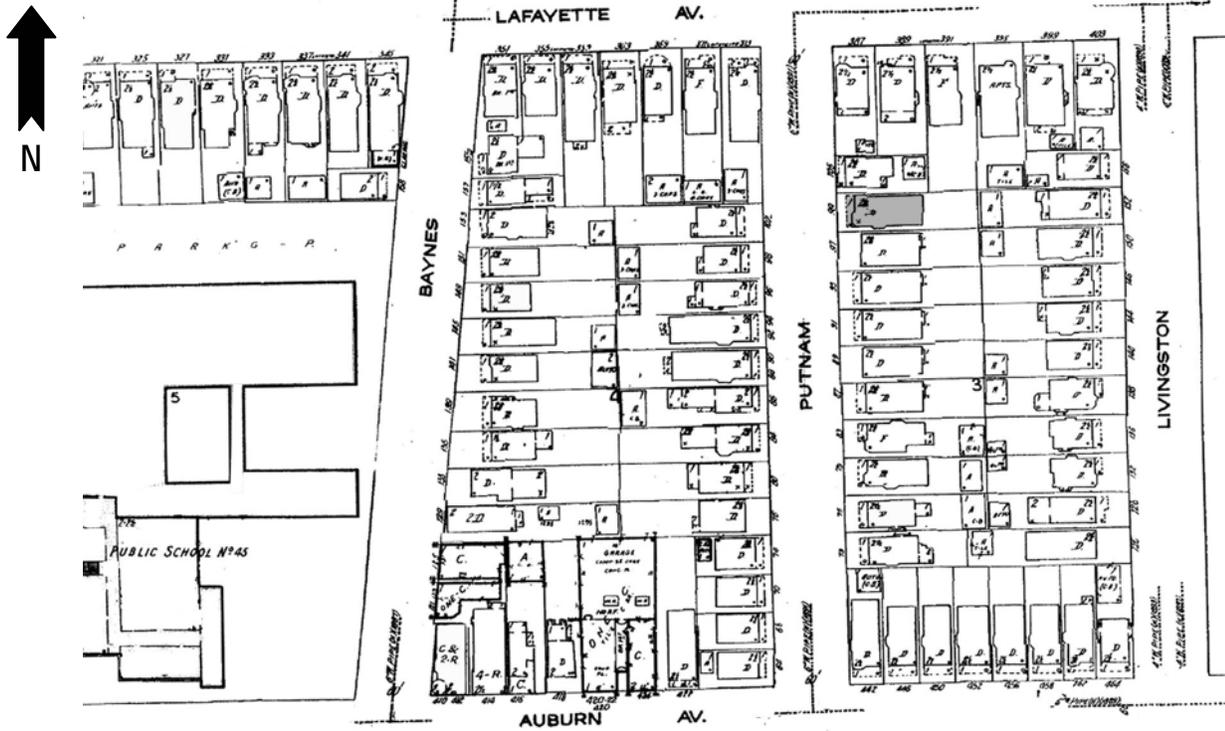
The single-family house at 99 Putnam Street is set on a standard lot, located on the east side of the street toward the north end of the block between Auburn Avenue and Lafayette Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. It has a rough rectangular plan and is set on a stone foundation. The façade has a full-width porch with fluted Doric column supports, spindled wood rail, and modest frieze. The sidelighted and enframed main entrance is located in the north bay of the façade. A polygonal bay occupies the south bay. The second floor façade has an open porch with modern metal rail, and matching polygonal oriels in the side bays. A Palladian window punctuates the front gable peak. Projecting bay on the south elevation. Exterior wall fabrics are clapboard on the main block and fish scale wood shingle in the gable end. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include corner pilasters, modest frieze and cornice trim, and reserved bracketing.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 99 Putnam Street is significant as a good representative example of a two-and-one-half story, front gabled, urban, frame residence with Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for lower to middle class families in the late nineteenth and early twentieth centuries on the West Side. Built for James E. Landon

MAP: Sanborn Map (Revised 1986) – Plate 350



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-36)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY
USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 102 Putnam Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1890

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input checked="" type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other

Roof: asphalt, shingle asphalt, roll wood shingle metal slate

Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block
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Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

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Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

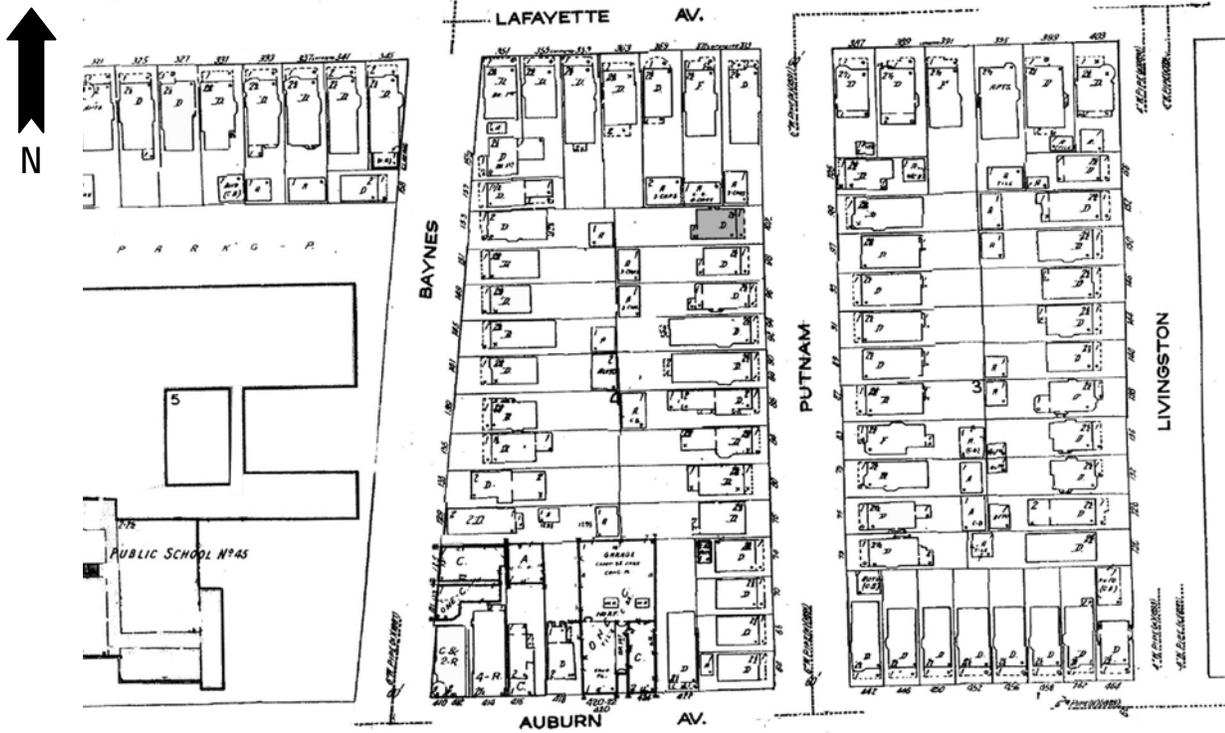
The single-family house at 102 Putnam Street is set on a standard lot, located on the west side of the street at the north end of the block between Auburn Avenue and Lafayette Avenue. Putnam Street is a medium-sized, north-south, residential street that runs between Breckenridge Street and Lafayette Avenue. A lower section extends south to Ferry Avenue. The property is located in a residential area of the central east section of the Grant-Ferry-Forest neighborhood, just west of the Historic District.

A two-and-one-half story, side gabled, urban, frame residence of a Colonial influenced design with mixed Queen Anne styling. It has a rough rectangular plan. The façade has a full-width porch with modern metal rail and supports and flat frieze. The main entrance is located off center to the south. Large window occupy both side bays. The second floor façade has a projecting polygonal oriel in the south bay flush beneath the eave. A hipped dormer with a small, multi-paned triple window group accents the front slope. Exterior wall fabric is clapboard with wood shingle on the dormer. Fenestration is one-over-one double-hung wood sash and fixed. Additional architectural details include modest corner boards, cornice trim, and lookout rafters.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 102 Putnam Street is significant as a good representative example of a two-and-one-half story, side gabled, urban, frame residence of a Colonial influenced design with mixed Queen Anne styling. Modestly styled urban singles and doubles of Queen Anne influence, such as this, were common housing for middle class families in the late nineteenth and early twentieth centuries on the West Side.

MAP: Sanborn Map (Revised 1986) – Plate 350



PHOTOGRAPH: (Grant-Ferry-Forest: R-31; N-37)





HISTORIC RESOURCE INVENTORY FORM

NYS OFFICE OF PARKS, RECREATION
& HISTORIC PRESERVATION
P.O. BOX 189, WATERFORD, NY 12188
(518) 237-8643

OFFICE USE ONLY USN: _____

IDENTIFICATION

Property name (if any) _____

Address or Street Location 132 Rees Street

County Erie Town/City Buffalo Village/Hamlet _____

Owner _____ Address _____

Original use Residential Current use Residential

Architect/Builder, if known _____ Date of construction, if known c. 1895

DESCRIPTION

Materials – please check those materials that are visible

Exterior Walls:	<input checked="" type="checkbox"/> wood clapboard	<input type="checkbox"/> wood shingle	<input type="checkbox"/> vertical boards	<input type="checkbox"/> plywood	
	<input type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	
	<input type="checkbox"/> vinyl siding	<input type="checkbox"/> aluminum siding	<input type="checkbox"/> cement-asbestos	<input type="checkbox"/> other	
Roof:	<input checked="" type="checkbox"/> asphalt, shingle	<input type="checkbox"/> asphalt, roll	<input type="checkbox"/> wood shingle	<input type="checkbox"/> metal	<input type="checkbox"/> slate
Foundation:	<input checked="" type="checkbox"/> stone	<input type="checkbox"/> brick	<input type="checkbox"/> poured concrete	<input type="checkbox"/> concrete block	

Other materials and their location: _____

Alterations, if known: _____ Date: _____

Condition: excellent good fair deteriorated

Photos

Provide several clear, original photographs of the property proposed for nomination. Submitted views should represent the property as a whole. For buildings or structures, this includes exterior and interior views, general setting, outbuildings and landscape features. Color prints are acceptable for initial submissions.

Please staple one photograph providing a complete view of the structure or property to the front of this sheet. Additional views should be submitted in a separate envelope or stapled to a continuation sheet.

Maps

Attach a printed or drawn locational map indicating the location of the property in relationship to streets, intersections or other widely recognized features so that the property can be accurately positioned. Show a north arrow. Include a scale or estimate distances where possible.

Study: City of Buffalo Intensive Level Historic Resources Survey: Grant-Ferry-Forest Neighborhood

Prepared by: Clinton Brown Company Architecture, pc Address: 2100 Rand Building, 14 Lafayette Sq., Buffalo NY 14203

Telephone: (716) 852-2020 ext. Email: cbca@buffnet.net Date: 03/2004

(See following pages)

PLEASE PROVIDE THE FOLLOWING INFORMATION

IF YOU ARE PREPARING A NATIONAL REGISTER NOMINATION, PLEASE REFER TO THE ATTACHED INSTRUCTONS

Narrative Description of Property: Briefly describe the property and its setting. Include a verbal description of the location (e.g., north side of NY 17, west of Jones Road); a general description of the building, structure or feature including such items as architectural style (if known), number of stories, type and shape of roof (flat, gabled, mansard, shed or other), materials and landscape features. Identify and describe any associated buildings, structures or features on the property, such as garages, silos, privies, pools, and gravesites. Identify any known exterior and interior alterations such as additions, replacement windows, aluminum or vinyl siding or changes in plan. Include dates of construction and alteration, if known. Attach additional sheets as needed.

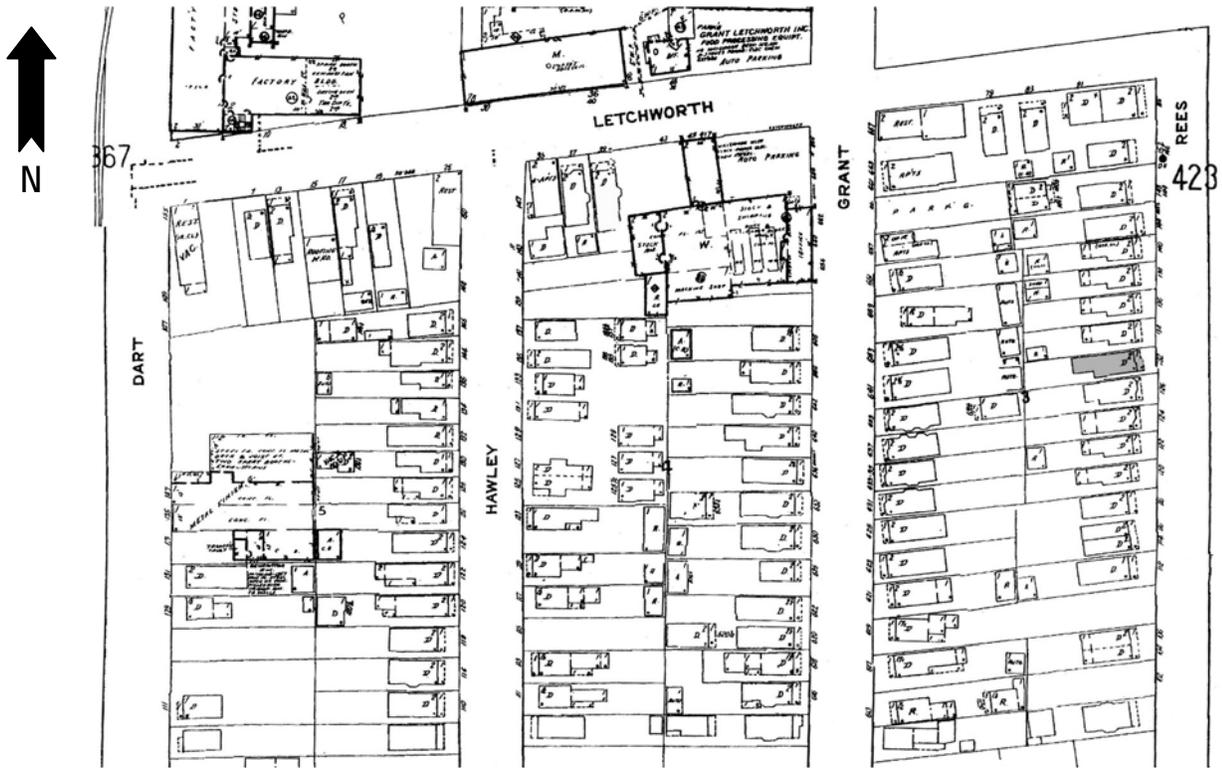
The building at 132 Rees Street is set on a standard lot, located on the west side of the street, toward its north end. Rees Street is a north-south, residential street that runs north from Forest Avenue along the rear of the Buffalo Psychiatric Center and Buffalo State College Campus. The property is located at the edge of a mixed residential area in the extreme north west section of the Grant-Ferry-Forest neighborhood.

A two-story, front-gabled, vernacular Victorian, urban frame residence. It has a slight ell plan with main block and narrowed one-story rear section. The façade has a full-width porch, with square elephantine column, modern metal rail and small frieze. The main entrance is located in the north bay of the façade with an small entry stair. The second floor façade has an open porch with metal rail, a porch entrance in the extreme north, and a paired window group in the south bay. Gable peak punctuated by a small window that has been covered over. Exterior wall fabric is clapboard. Fenestration is one-over-one double-hung wood sash and fixed. A brick chimney rests on the south slope. Minor detailing includes modest corner boards and gable trim.

Narrative Description of Significance: Briefly describe those characteristics by which this property may be considered historically significant. Significance may include, but is not limited to, a structure being an intact representative of an architectural or engineering type or style (e.g., Gothic Revival style cottage, Pratt through-truss bridge); association with historic events or broad patterns of local, state or national history (e.g.; a cotton mill from a period of growth in local history, a seaside cottage representing a locale's history as a resort community, a structure associated with activities of the "underground railroad."); or by association with persons or organizations significant at a local, state or national level. Simply put, why is this property important to you and the community. Attach additional sheets as needed.

The building at 132 Rees Street is significant as a good representative example of a two-story, front-gabled, vernacular Victorian, urban frame residence. Such simple folk structures, often embellished with modest detailing of the prevailing architectural style, though not in this case, were a practical alternative to the more high-styled homes of the time. A design common amongst single-family residences of more modest means, though, less frequent in this neighborhood in which urban singles and doubles of Queen Anne and Craftsman style abound.

MAP: Sanborn Map (Revised 1986) – Plate 368



PHOTOGRAPH: (Grant-Ferry-Forest: R-36; N-16)

